



CITY OF LEEDS, ALABAMA

PLANNING AND ZONING COMMISSION AGENDA

1412 9th St - Annex

January 12, 2023 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

APPROVAL OF MINUTES FROM PREVIOUS MEETING(S):

OLD BUSINESS:

1. RA22-000005 - A request by Linda Miller, Applicant and Owner, to rezone certain parcels from R-2, Single Family District to B-2, General Business District, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

NEW BUSINESS:

2. RA22-000007 - Planning and Zoning Commission to modify the R-5, Garden Home District and to delete the R-6, Garden Home District from the zoning ordinance.
3. SA22-000024 - A request by Christal Grammer, Applicant, AMAC Design Builders, Owners, for Preliminary Plat and Construction Plans for Rockhampton Phase 2 - fifty-one (51) lots, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District.
4. SA22-000023 - A request by Christal Grammer, Applicant, Sheridan South LLC,/ John R. Frawley, Jr., Owner, to resurvey Lots 1-4. 6-10, 13 & 14 of Block 15A of the Survey of Leeds, into two (2) lots located at 8412 Thornton Ave, 35094, TPID(s) 2500211016007000 & 2500211016012000, Zoned I-1, Light Industrial, Jefferson County.
5. SA22-000025 - Withdrawn by Applicant 1/11/2021- A request by Joe Schifano, Applicant, Wellington Development Owner, for final plat approval of Southern Trace Sector 5, located at 1930 Hawks Rd, Leeds, AL 35094, TPID 2400254000003000, Zoned R-5, Garden Home District, Jefferson County.

PUBLIC ADDRESS:

OTHER BUSINESS:

CHAIRPERSON'S COMMUNICATION:

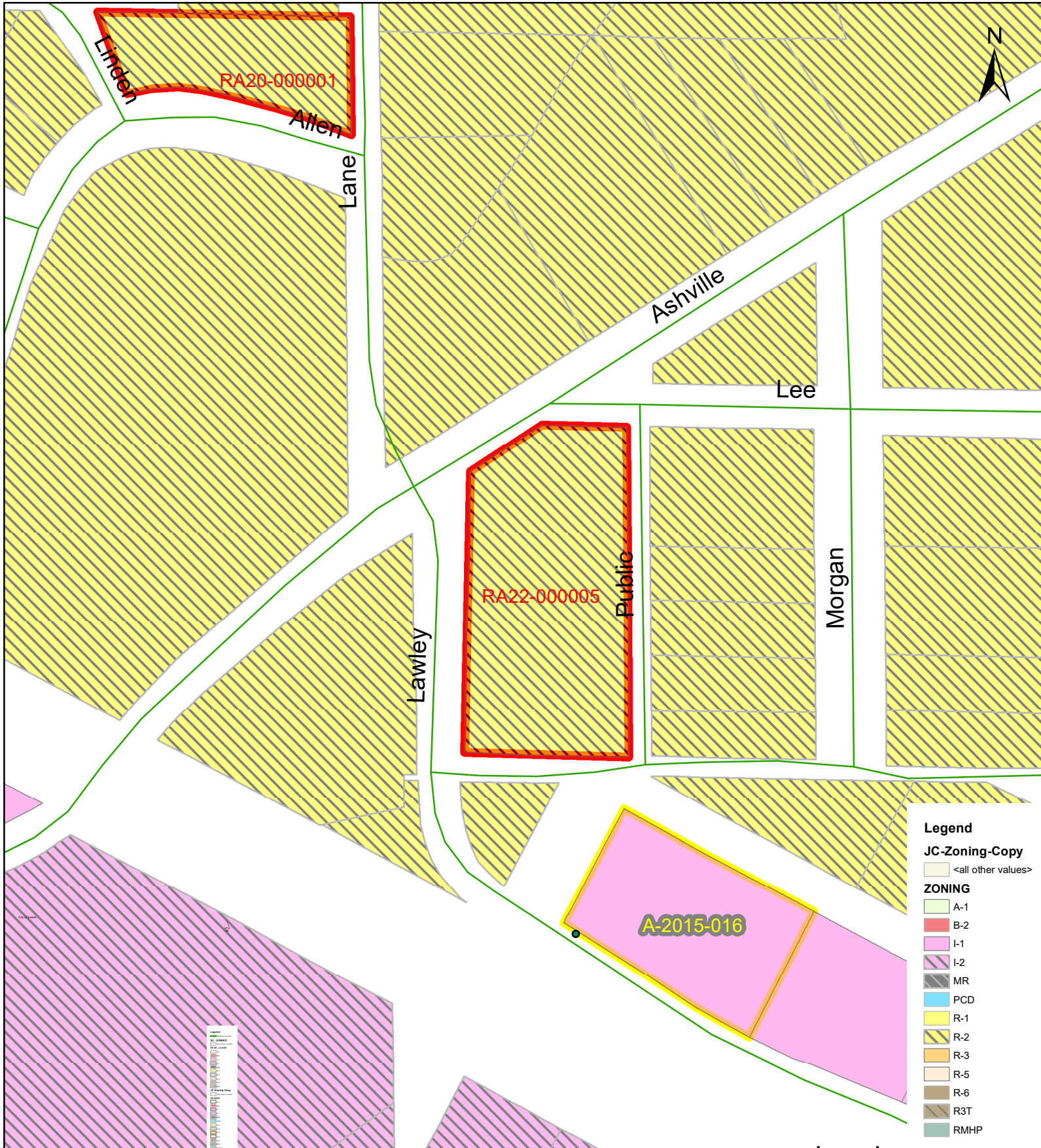
ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

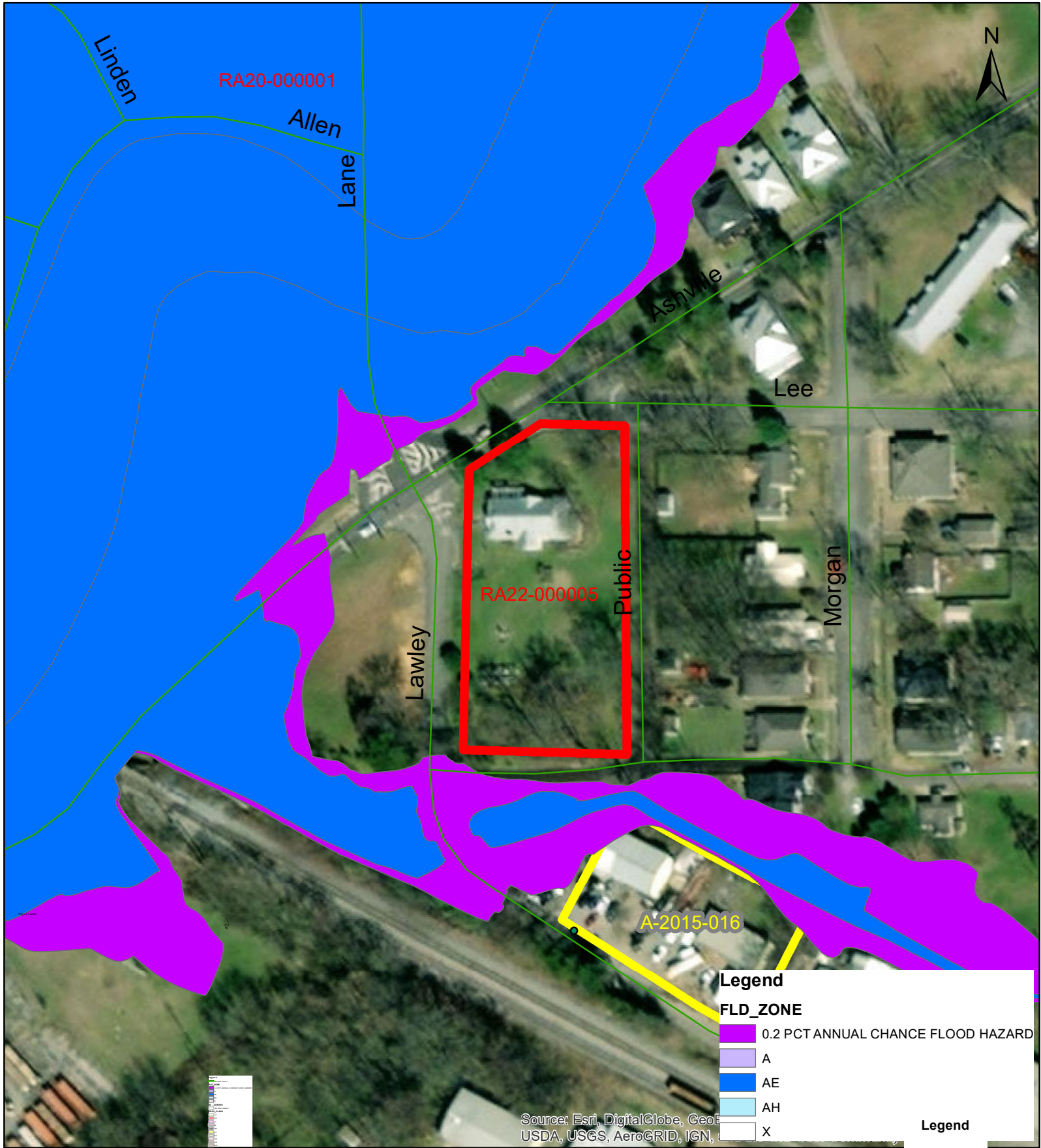
File Attachments for Item:

1. RA22-000005 - A request by Linda Miller, Applicant and Owner, to rezone certain parcels from R-2, Single Family District to B-2, General Business District, at 8163 Lawley Ave, 35094, TPID 2500164013009000, Jefferson County.

RA22-00005
8163 LAWLEY AVE
2500164013009000
ZONE



RA22-00005
8163 LAWLEY AVE
2500164013009000
FLOOD



Source: Esri, DigitalGlobe, GeoEye, USDA, USGS, AeroGRID, IGN, etc.

REZONING APPLICATION FOR THE CITY OF LEEDS, ALABAMA
DEPARTMENT OF INSPECTION SERVICES- ZONING DIVISION
1404 9th STREET, LEEDS, AL 35094 P.205.699.2585
INSPECTIONS@LEEDSALABAMA.GOV * leedsalabama.gov

Part 1. Application	
Name of Applicant: Gerald Miller - Linda Miller	
Mailing Address: PO Box 190 Leeds, AL 35094	
Telephone: 205-222-2111	E-mail: lmiller@qsilab.com
Signature: <i>Linda Miller</i>	
Date Application Filed:	Requested Hearing Date:

Part 2. Parcel Data		
Owner of Record: Linda S. Miller		
Owner Mailing Address: PO Box 190 Leeds, AL 35094		
Site Address: 8163 Lawley Ave. Leeds, AL 35094		
Tax Parcel ID # 2500164013009,000	Existing Zoning:	Proposed Zoning:
Telephone: 205-222-2111	E-Mail: lmiller@qsilab.com	
Signature of Authorization by Owner: <i>Linda Miller</i>		

Part 3. Request	
Reason for Request:	
Proffer of rezoning conditions (if any)	

Part 4 Enclosures (Check all required enclosures with this application)	
<input type="checkbox"/> Application Fee	
<input type="checkbox"/> Reason for Request	
<input type="checkbox"/> Legal Description of the subject Property	
<input type="checkbox"/> Vicinity Map	
<input type="checkbox"/> Availability of Required Utilities	
<input type="checkbox"/> Site Plan	
<input type="checkbox"/> Proffer of rezoning conditions (if any)	

NOTICE: The completed application and all required attachments must be filed at least 30 (thirty) days prior to the Leeds Zoning Board of Adjustments Public Hearing. A representative must be present at the hearing.

FOR OFFICE USE ONLY	
Application Number:	Date Received:
Received by:	Scheduled Public Hearing Date:

71,450

THIS INSTRUMENT PREPARED BY:
HILL, WEISSKOPF & HILL, P.C.
Post Office Box 310
Moody, Alabama 35004

Send Tax Notice To:
Post Office Box 190
Leeds, AL 35094

WARRANTY DEED

STATE OF ALABAMA
JEFFERSON COUNTY

KNOW ALL MEN BY THESE PRESENTS, That in consideration of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration to the undersigned Grantor (whether one or more), in hand paid by the Grantee herein, the receipt whereof is acknowledged, I or we, Gerald Miller and wife, Linda Miller (herein referred to as Grantor, whether one or more), grant, bargain, sell and convey unto Linda S. Miller (herein referred to as Grantee, whether one or more), the following described real estate, situated in Jefferson County, Alabama, to-wit:


Lots 1, 2, 3, 4, 5 and 6, Block 6, according to the Survey of Lee Spruiell Land Company's first Addition to Leeds, Alabama, as recorded in Map Book 7, page 53, in the probate Office of Jefferson County, Alabama

TO HAVE AND TO HOLD to the said Grantee, his, her or their heirs and assigns forever.

And I (we) do, for myself (ourselves) and for my (our) heirs, executors and administrators, covenant with said Grantee, his, her or their heirs and assigns, that I am (we are) lawfully seized in fee simple of said premises; that they are free from all encumbrances, unless otherwise stated above; that I (we) have a good right to sell and convey the same as aforesaid; that I (we) will, and my (our) heirs, executors and administrators shall warrant and defend the same to the said Grantee, his, her or their heirs and assigns forever, against the lawful claims of all persons.

IN WITNESS WHEREOF, I (we) have hereunto set my (our) hand(s) and seal(s) this 27 day of August, 2015.

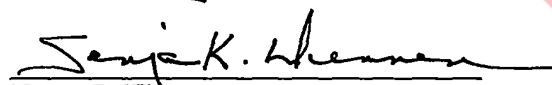

Gerald Miller

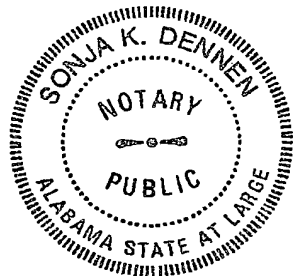

Linda Miller

STATE OF ALABAMA
ST. CLAIR COUNTY

I, the undersigned authority, a Notary Public in and for said County in said State, hereby certify that Gerald Miller and Linda Miller, whose name(s) are signed to the foregoing conveyance, and who are known to me, acknowledged before me on this day that, being informed of the contents of the conveyance, they executed the same voluntarily on the day the same bears date.

Given under my hand and official seal this 27 day of August, 2015.


Notary Public



My Commission Expires: 6/1/2018

Real Estate Sales Validation Form

This Document must be filed in accordance with Code of Alabama 1975, Section 40-22-1

Grantor's Name Gerald Miller
Mailing Address Post Office Box 190
Leeds, AL 35094

Grantee's Name Linda Miller
Mailing Address Post Office Box 190
Leeds, AL 35094

Property Address 8163 Lawley Ave.
Leeds, AL 35094

Date of Sale August 27, 2015
Total Purchase Price \$ _____
or
Actual Value \$ _____
or 71,450.00
Assessor's Market Value \$ _____

The purchase price or actual value claimed on this form can be verified in the following documentary evidence: (check one) (Recordation of documentary evidence is not required)

- Bill of Sale
- Sales Contract
- Closing Statement
- Appraisal
- Other Spouse deeding to spouse

If the conveyance document presented for recordation contains all of the required information referenced above, the filing of this form is not required.

Instructions

Grantor's name and mailing address - provide the name of the person or persons conveying interest to property and their current mailing address.

Grantee's name and mailing address - provide the name of the person or persons to whom interest to property is being conveyed.

Property address - the physical address of the property being conveyed, if available.

Date of Sale - the date on which interest to the property was conveyed.

Total purchase price - the total amount paid for the purchase of the property, both real and personal, being conveyed by the instrument offered for record.

Actual value - if the property is not being sold, the true value of the property, both real and personal, being conveyed by the instrument offered for record. This may be evidenced by an appraisal conducted by a licensed appraiser or the assessor's current market value.

If no proof is provided and the value must be determined, the current estimate of fair market value, excluding current use valuation, of the property as determined by the local official charged with the responsibility of valuing property for property tax purposes will be used and the taxpayer will be penalized pursuant to Code of Alabama 1975 § 40-22-1 (h).

I attest, to the best of my knowledge and belief that the information contained in this document is true and accurate. I further understand that any false statements claimed on this form may result in the imposition of the penalty indicated in Code of Alabama 1975 § 40-22-1 (h).

Date _____

Print James E. Hill, Jr.

Unattested _____
(verified by)

Sign [Signature]
(Grantor/Grantee/Owner/Agent) circle one

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Planning and Zoning Commission

Application for Rezoning
Site Addresses: 8163 LAWLEY AVE LEEDS, AL 35094

APPLICATION

This request for a zoning change is initiated by MILLER LINDA S.. The City of Leeds Planning & Zoning Commission will consider the request to rezone the described property from R-2, Single-Family Dwelling District, to B-2, General Business District.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is an advisory body to the City of Leeds City Council. The recommendation of the Planning and Zoning Commission is non-binding, and the final determination of this rezoning request is vested solely with the City Council.

CASE #:	RA22-000005
PROPERTY OWNERS:	MILLER LINDA S.
TAX PARCEL IDs:	2500164013009000
SITE ADDRESSES:	8163 LAWLEY AVE; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 12/08/2022
Time: 5:00 p.m.
Place: Leeds Annex Meeting Room
1412 9th Street
Leeds, AL 35094

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application - Comments are limited to two (2) minutes. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson
Phone: 205-699-0943
E-mail: bwatson@leedsalabama.gov

Mailing Address:
City of Leeds
Planning and Zoning commission
1404 9th Street
Leeds, AL 35094

RA22-00005
8163 LAWLEY AVE
2500164013009000
AERIAL



File Attachments for Item:

2. RA22-000007 - Planning and Zoning Commission to modify the R-5, Garden Home District and to delete the R-6, Garden Home District from the zoning ordinance.

§8.00 R-5 Garden Home Residential District

8.01 Intent

To provide areas suitable for the development of residential garden homes along with selected institutional and commercial uses which are integrally related to residential neighborhoods.

8.02 Uses Permitted

The following uses shall be permitted in the R-5 Garden Home District:

- A. Agricultural Uses
 - 1. Non-Commercial Greenhouses and Gardens
- B. Residential Uses
 - 1. Residential Garden Homes
 - 2. Accessory Structures and Buildings, subject to Article VII, § 6.00.
- C. Institutional Uses
 - 1. Home Instruction
 - 2. Public Utility Services
- D. Temporary Uses
 - 1. Garage of Yard Sales, subject to Article VII, § 9.00.

8.03 Special Exception Uses

The following uses may be permitted subject to approval of the Zoning Board of Adjustment and the appropriate permits being issued by the City. See Article VIII, Special Exception Uses, § 1.00 and subsections 1.01 and 1.02.

- A. Commercial Uses
 - 1. Home Occupations, subject to Article VIII, § 9.00.

8.04 Area and Dimensional Regulations

Except as may be provided for elsewhere in this Ordinance, the following area and dimensional regulations shall be required:

Minimum Lot Width at	
The Building Line:	60 Feet

Minimum Lot Area: 6,000 Square Feet

Minimum Yards:

Front 7 Feet
Rear: 5 Feet
Side: 5 Feet

Maximum Height 38 Feet or 2 1/2 Stories

Minimum Livable Floor

Area in Square Feet: One Story – 1,200 Total
One and One-Half Story – 800 First Floor
Second Floor – 400 for total of 1,200
Two Story – First Floor – 700
Two Story – Second Floor – 700 for total of 1,400

Corner Lots: Setbacks shall be the same on streets, roads, or highways.

Note: A Site Development Plan is required for all garden home developments as per Article subsection 2.02.

8.05 Buffer Requirements

As described in the Buffer Matrix and subsection 1.05 of this Article. 8.06

8.06 Additional Regulations

- 1. No fence shall be permitted forward of the front building face of the house, other fences shall not exceed seven (7) feet in height.
2. No two homes constructed in this district shall be closer to one another than fifteen (15) feet.
3. All utilities shall be placed underground.
4. There shall be two (2) paved parking spaces provided for each dwelling, the depth of which shall be measured from the back of the curb. Twenty percent (20%) of the parking shall be dedicated to landscaping. There shall be no on-street parking along existing interior streets.
5. Customary accessory buildings or structures, one (1) per lot, shall not exceed two hundred (200) square feet.
6. All lots shall have vehicular access from the rear of the property (front access shall only be permitted by exception of the Planning Commission)
7. An ADA compliant sidewalk shall be provided on each lot – as designed during the subdivision process. All new subdivisions shall require a sidewalk system (this requirement may be waived upon the issuance of a waiver by the Planning and Zoning Commission).

[END OF R-5, GARDEN HOME RESIDENTIAL DISTRICT]

Delete R-6, Patio Home District

File Attachments for Item:

3. SA22-000024 - A request by Christal Grammer, Applicant, AMAC Design Builders, Owners, for Preliminary Plat and Construction Plans for Rockhampton Phase 2 - fifty-one (51) lots, TPID 2500153001004001, Jefferson County, Zoned R-2, Single Family District.

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
 Planning and Zoning Commission

Application for Subdivision Rock Hampton Phase 2

APPLICATION

An application for subdivision plat approval has been filed with the City of Leeds Planning and Zoning Commission for "Rock Hampton Phase 2". This proposed subdivision consists of 51.

PLANNING AND ZONING COMMISSION

The Planning and Zoning Commission is vested with the responsibility and authority of determining conformity with the City of Leeds Subdivision Regulations

CASE #:	SA22-000024
APPLICANT NAME:	Christal Grammer
PROPERTY OWNER:	TASS INC
TAX PARCEL ID#S:	2500153001004001
CASE ADDRESS:	1250 MAITLAND RD; LEEDS, AL 35094

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on.

Date: 01/12/2023
 Time: 5:00 p.m.
 Place: Leeds Annex Meeting Room
 1412 9th St
 Leeds, AL 35094

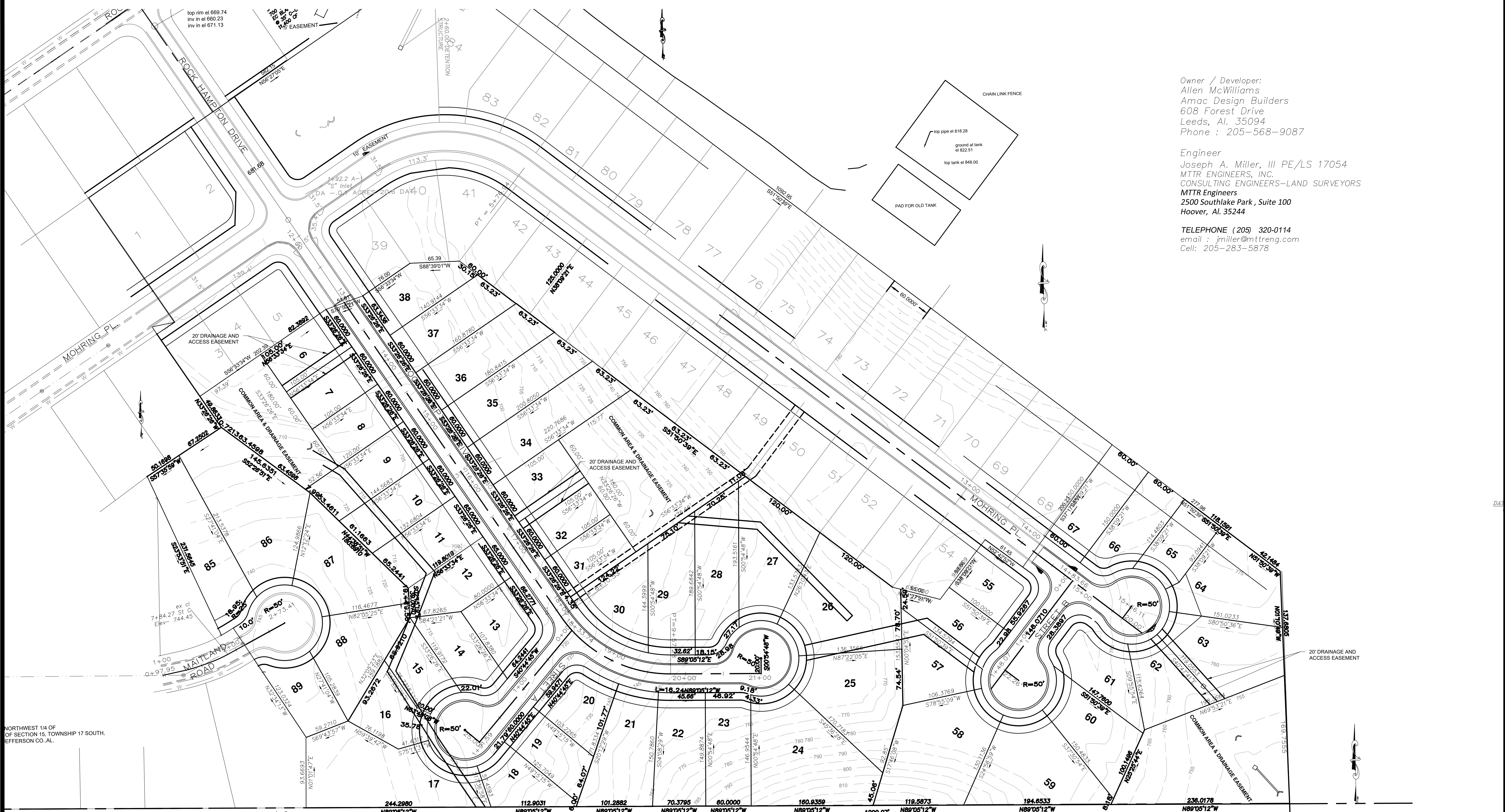
Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

Contact Person: Brad Watson **Phone:** 205-699-0907
E-mail: development@leedsalabama.gov

Mailing Address:

City of Leeds
 Planning and Zoning commission
 1404 9th Street
 Leeds, AL 35094



Owner / Developer:
 Allen McWilliams
 Amac Design Builders
 608 Forest Drive
 Leeds, Al. 35094
 Phone : 205-568-9087

Engineer
 Joseph A. Miller, III PE/LS 17054
 MTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 MTR Engineers
 2500 Southlake Park, Suite 100
 Hoover, Al. 35244

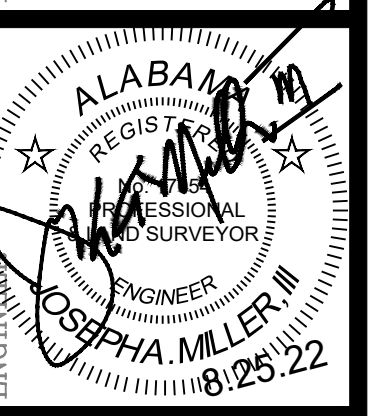
TELEPHONE (205) 320-0114
 email : jmillermtr@mttreng.com
 Cell: 205-283-5878

NORTHWEST 1/4 OF SECTION 15, TOWNSHIP 17 SOUTH, JEFFERSON CO. AL.

MTR
 ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 3 RIVERCHASE RIDGE
 HOOVER, AL. 35244
 TELEPHONE (205) 320-0114

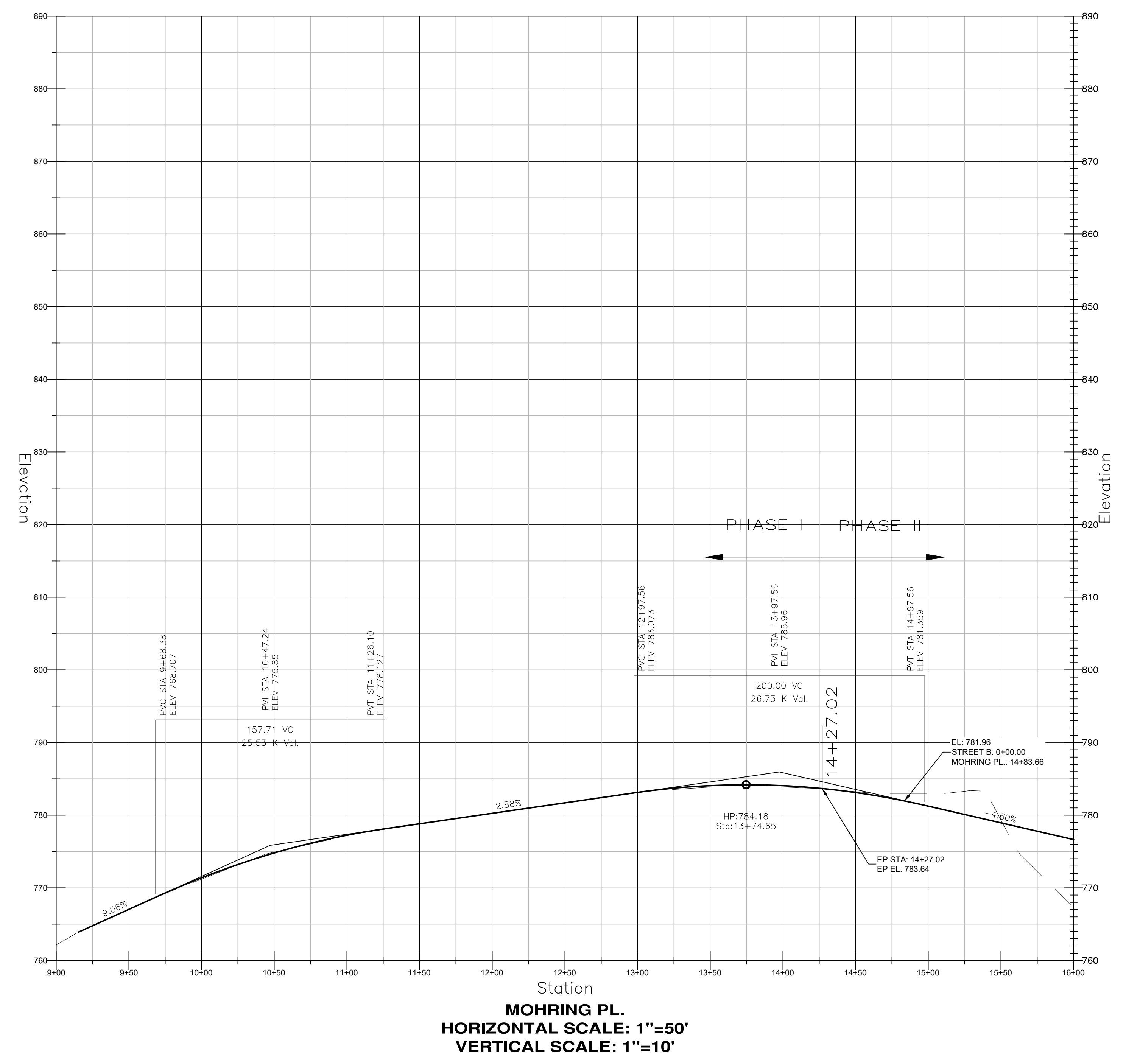
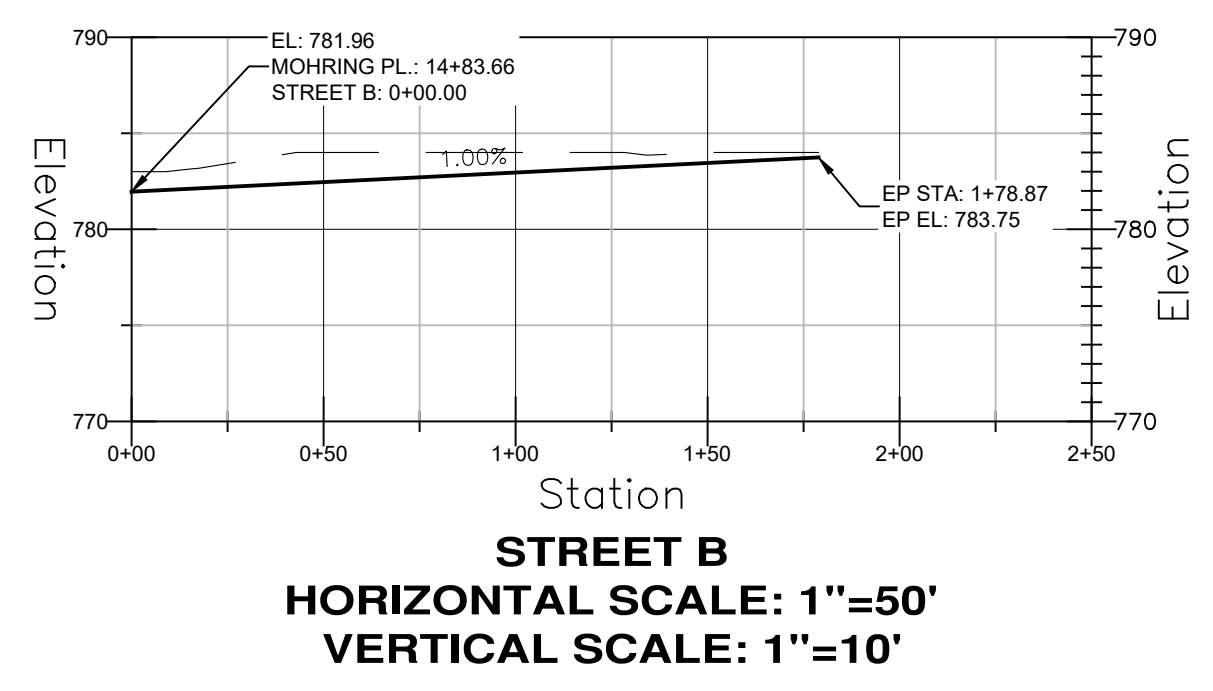
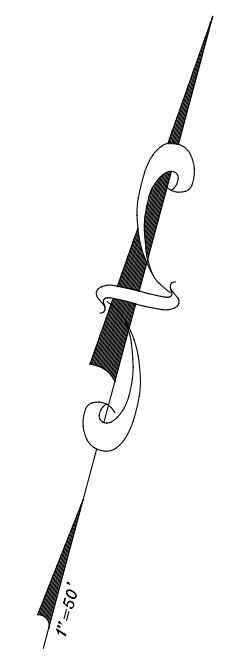
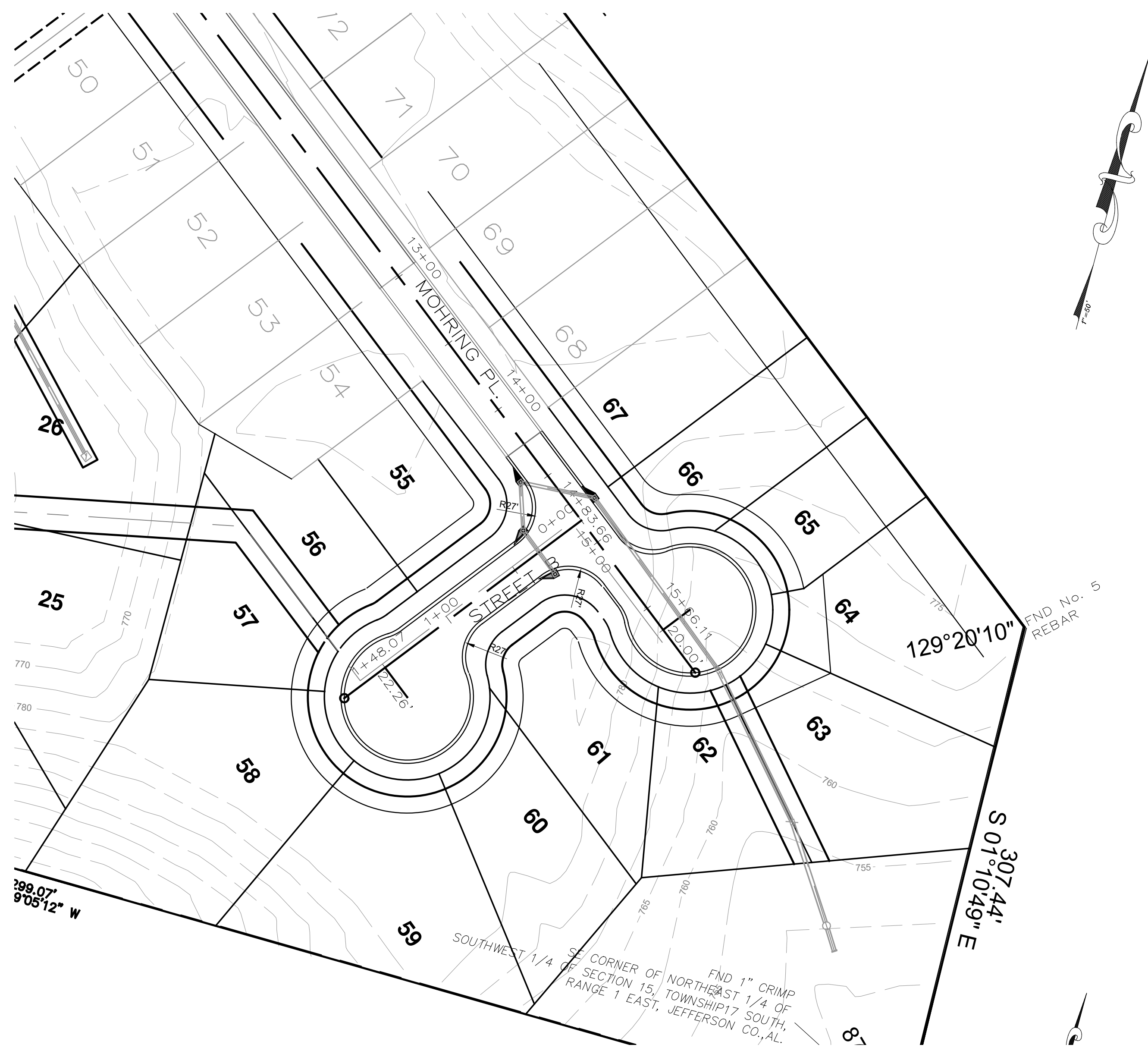


PRELIMINARY PLAN FOR
**ROCK HAMPTON
 PHASE II**
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
 CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

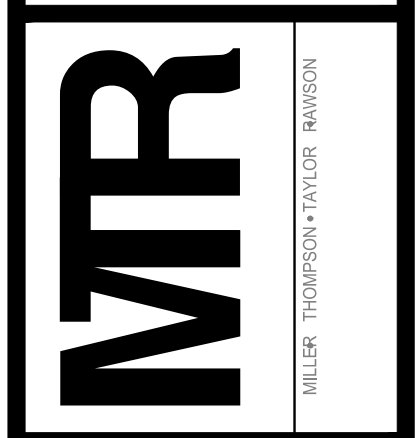


REVISIONS	DATE

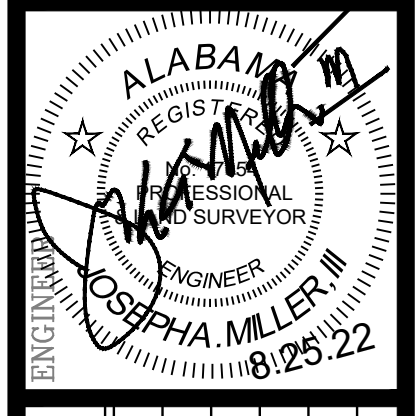
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PROJECT	ROCK HAMPTON
DATE	06.15.19
DRAWN	JAM
CHECKED	JAM III
SCALE	1"=60'
SHEET	01



MTR
 ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244
 TELEPHONE (205) 320-0114



STREET PLAN AND PROFILE
ROCK HAMPTON
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



REVISIONS	DATE

JOB NO:
 FILE NAME: I/SUBDIVISIONS
 ROCK HAMPTON
 DATE:
 08.15.19
 DRAWN:
 JAM
 CHECKED:
 JAM III
 SCALE:
 1"=50'
 SHEET



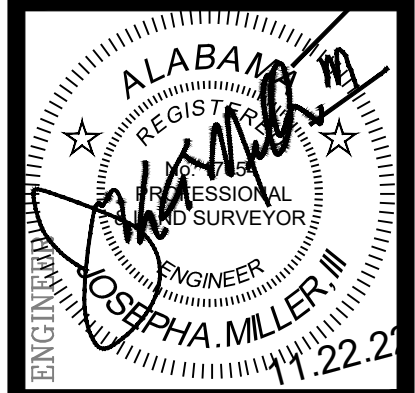
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N 89°05'12" W



MTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114



GRADING / EROSION CONTROL PLAN
ROCK HAMPTON
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



DATE	REVISIONS

JOB NO:
FILE NAME I/SUBDIVISIONS
ROCK HAMPTON
DATE:
08.15.19
DRAWN:
JAM
CHECKED:
JAM III
SCALE:
1"=50'
SHEET



SHIP 17 SOUTH.

12 YORKTOWN
MB 101 P 89
BLOCK 2

13 YORKTOWN
MB 101 P 89
BLOCK 2

5809.65
2887.65

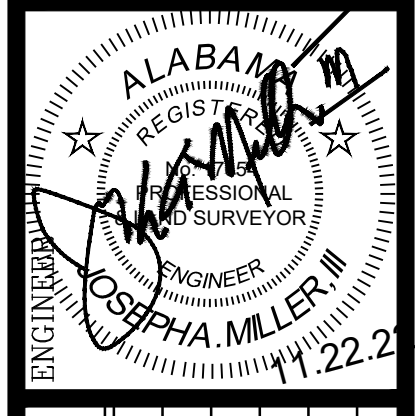
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N 89°05'12" W

MTRR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114

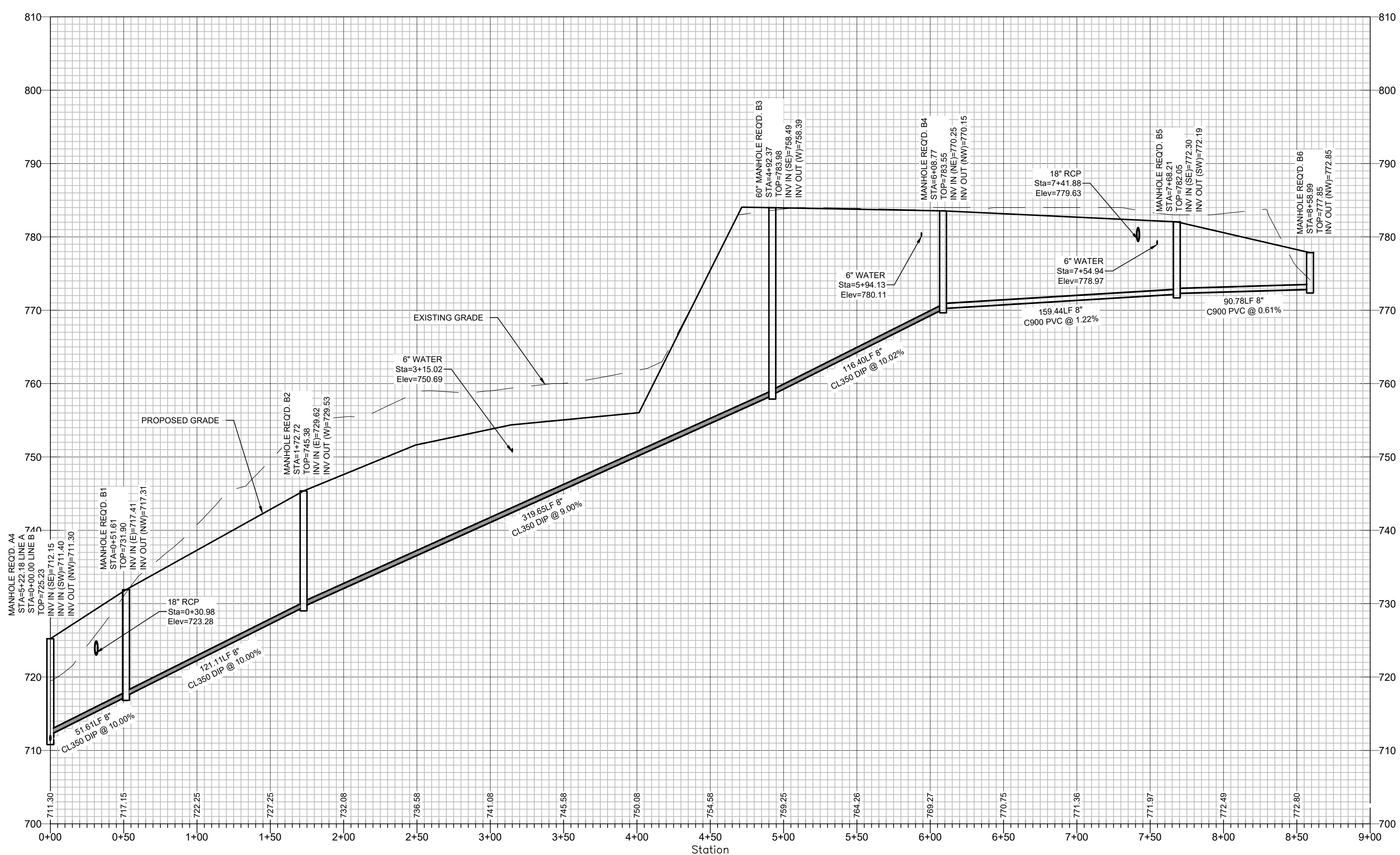
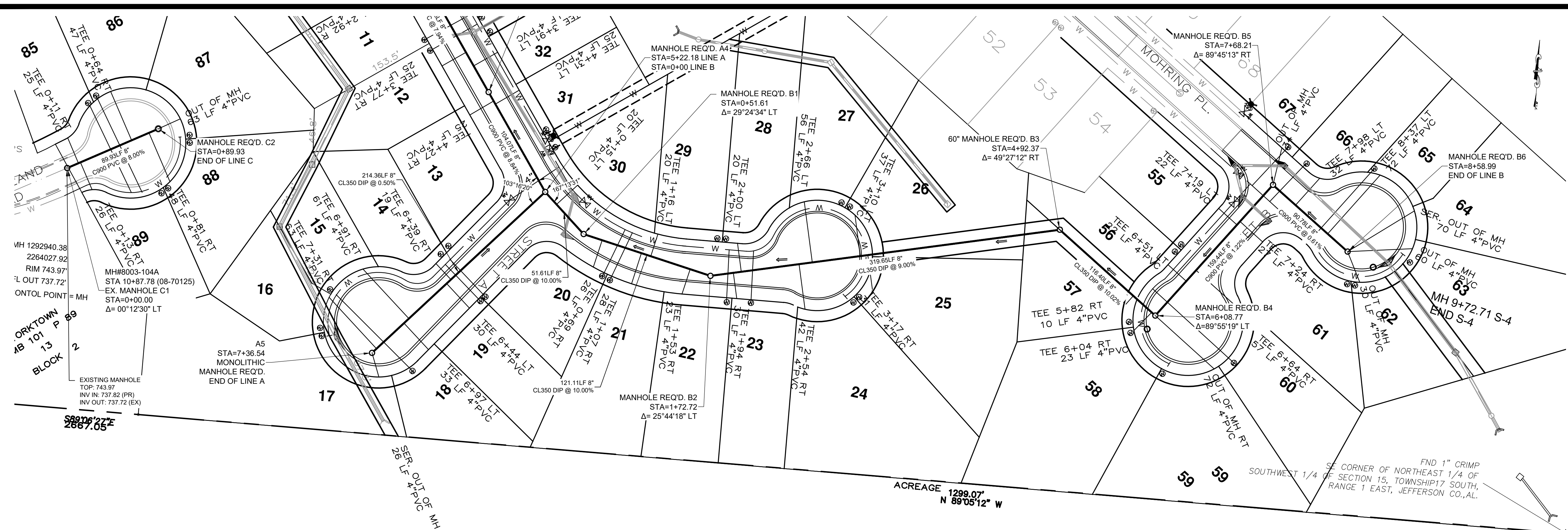


PROJECT
STORM SEWER PLAN
ROCK HAMPTON
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15-TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

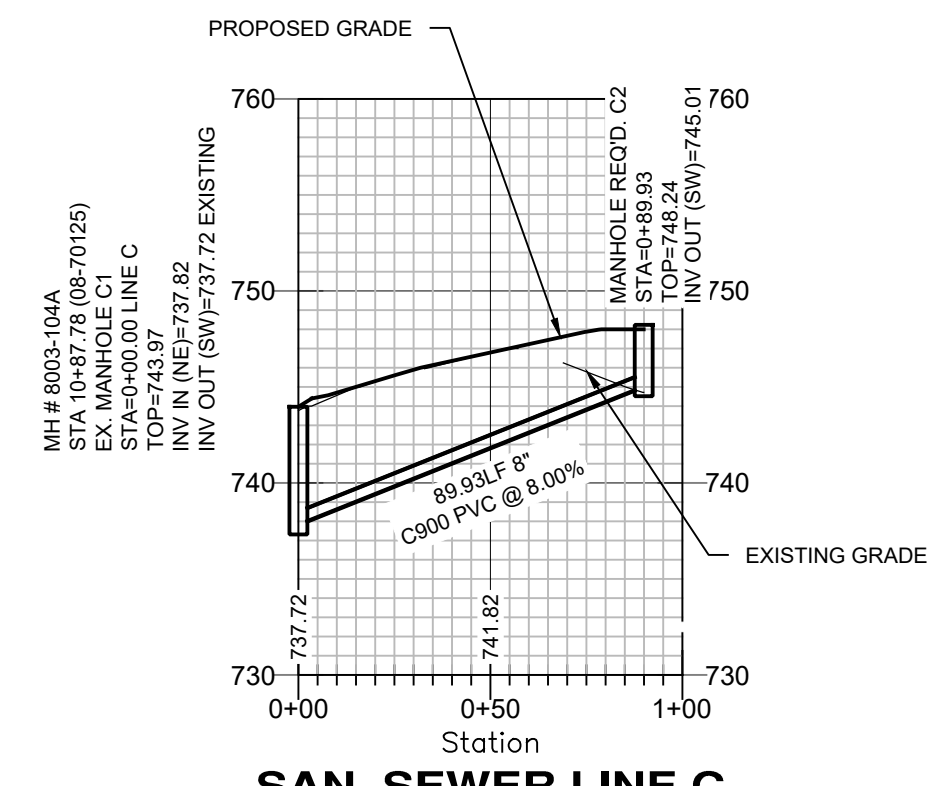


DATE	REVISIONS

JOB NO:
FILE NAME: I/SUBDIVISIONS
ROCK HAMPTON
DATE:
08.15.19
DRAWN:
JAM
CHECKED:
JAM III
SCALE:
1"=60'
SHEET
05



SAN. SEWER LINE B
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



SAN. SEWER LINE C
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'

NOTE:
 ALL 3/4" WATER SERVICES ARE TO BE PLACED 36"
 BELOW THE FINISHED GRADE UNLESS OTHERWISE
 SPECIFIED.

Owner / Developer:
 Allen McWilliams
 Amac Design Builders
 608 Forest Drive
 Leeds, AL. 35094
 Phone : 205-568-9087

Engineer
 Joseph A. Miller, III PE/LS 17054
 MTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 MTR Engineers
 2500 Southlake Park, Suite 100
 Hoover, AL. 35244

TELEPHONE (205) 320-0114
 email : jmliller@mtreng.com
 Cell: 205-283-5878

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 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL. 35244
 TELEPHONE (205) 320-0114

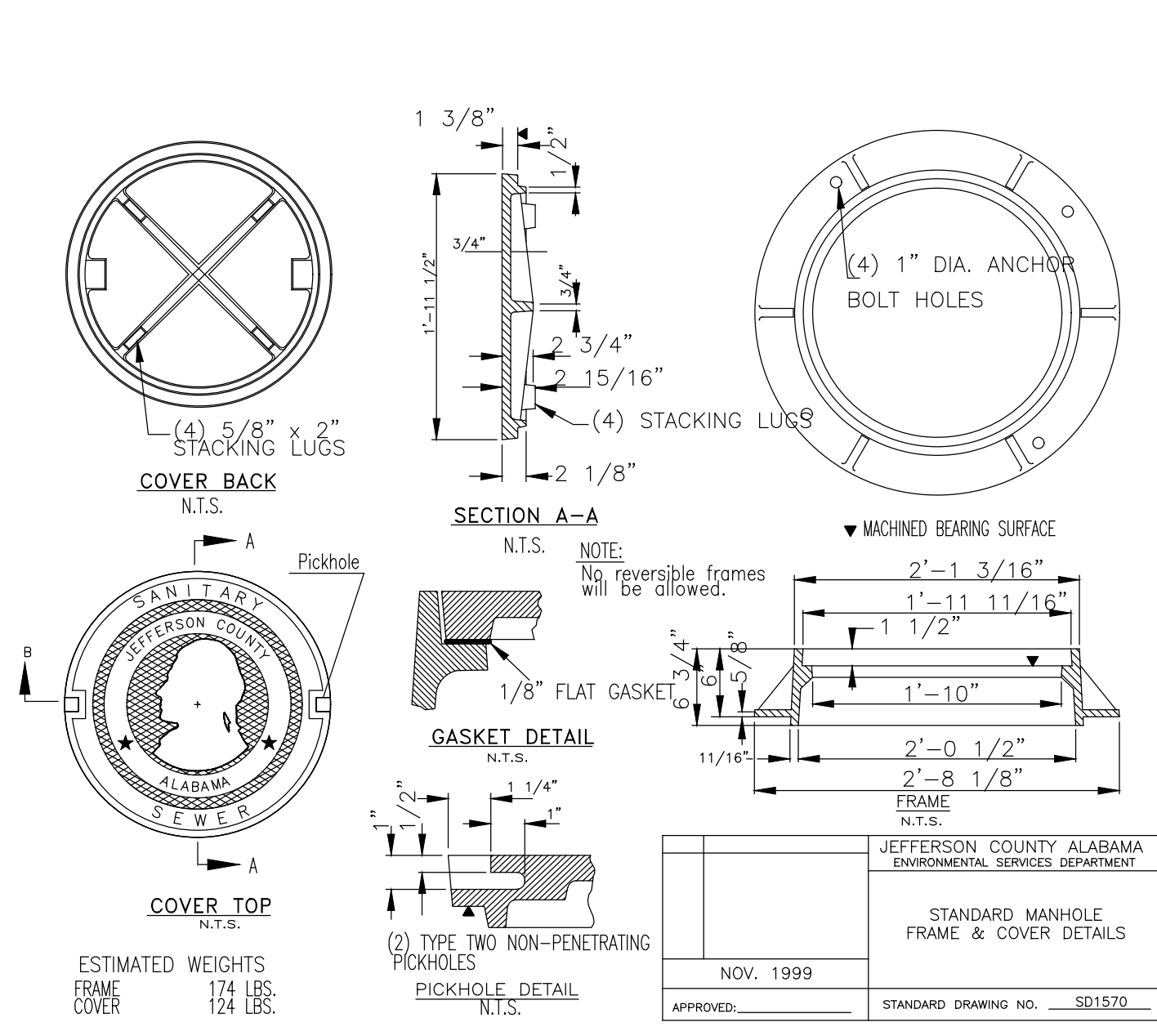


SANITARY SEWER PLAN AND PROFILE
ROCK HAMPTON
PHASE 2
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15+TOWNSHIP 17 SOUTH, RANGE 1 EAST
 CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



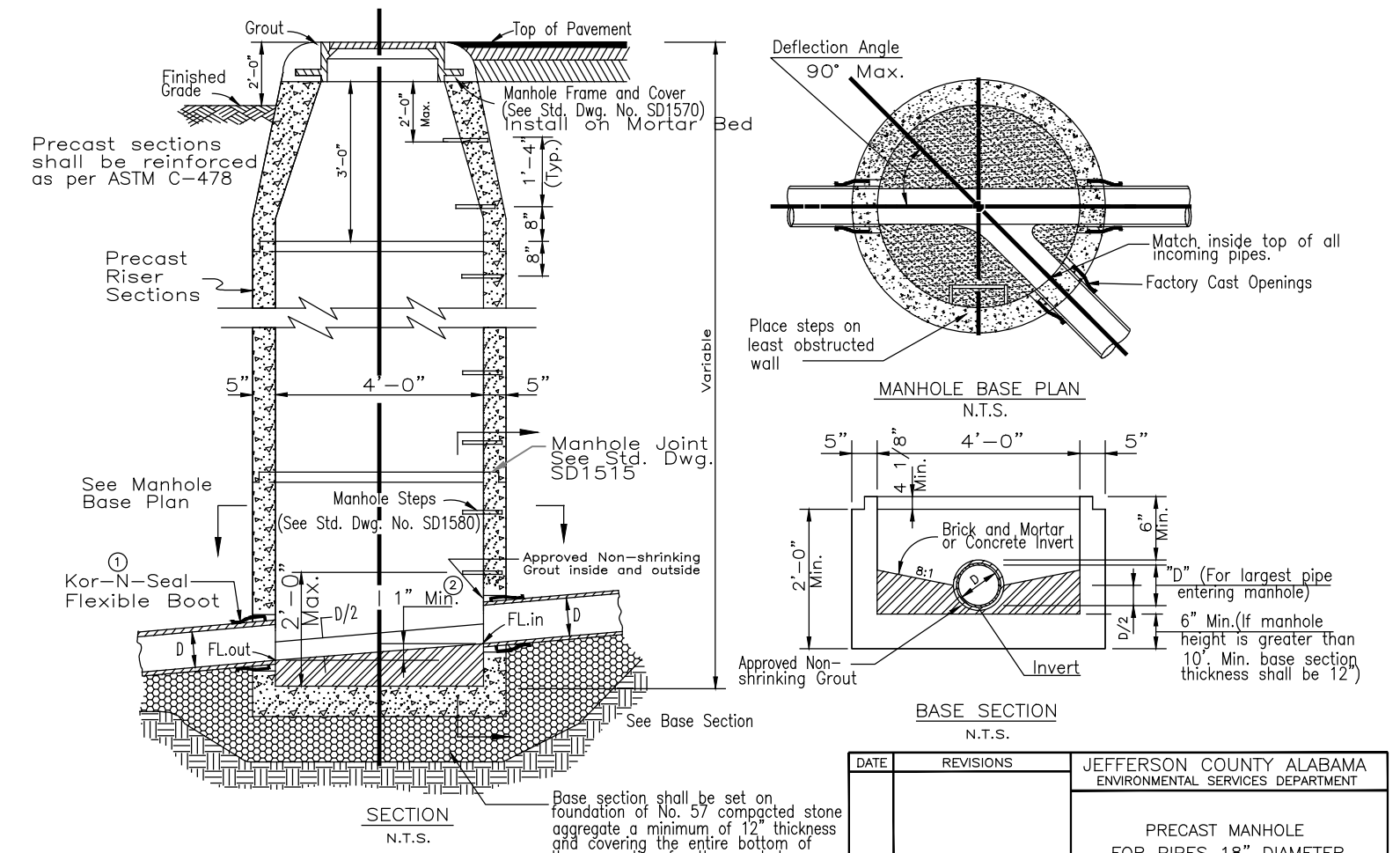
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JOB NO:	
FILE NAME: 1/SUBDIVISIONS	ROCK HAMPTON
DATE:	08.15.19
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SHEET	07

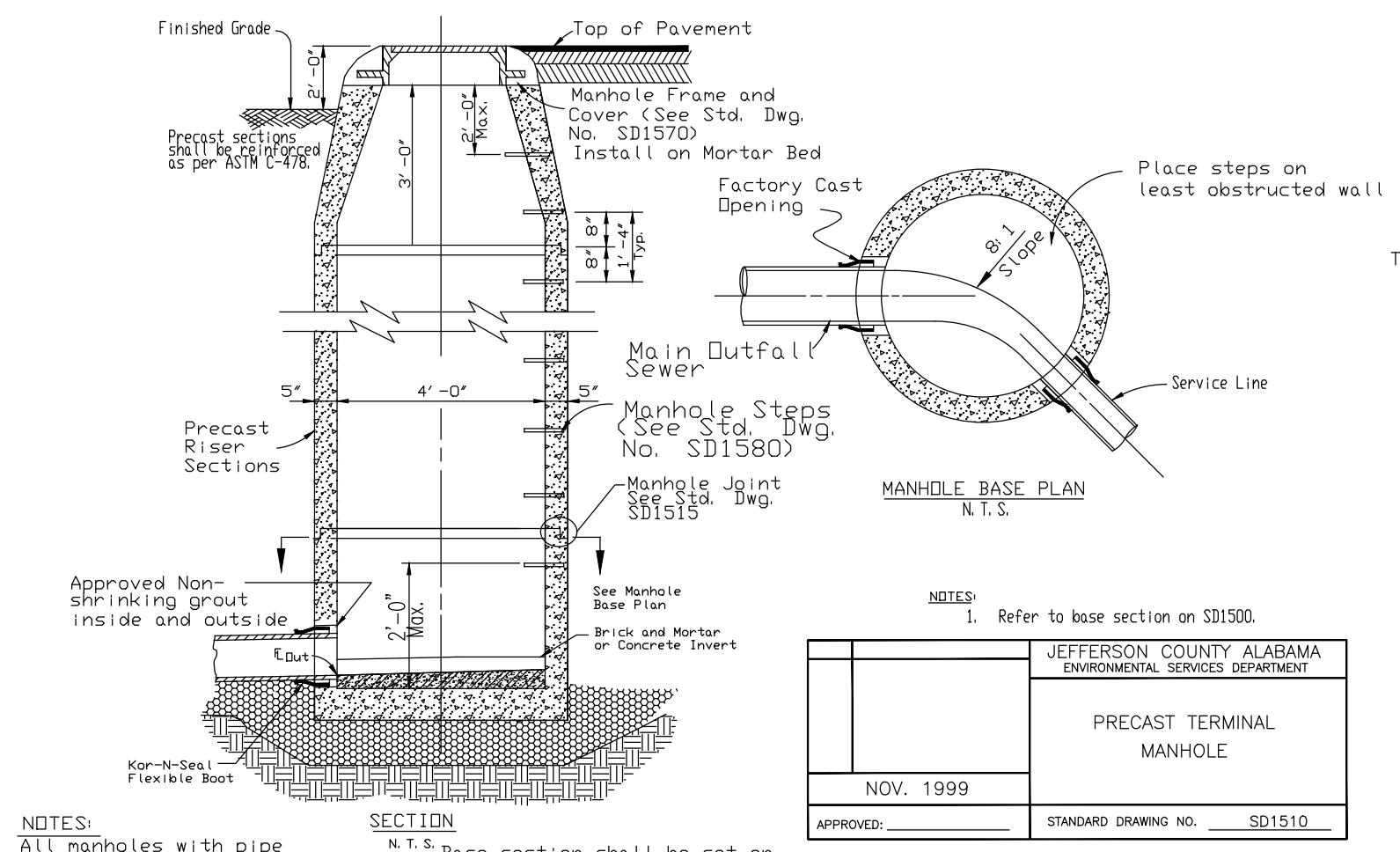


- NOTES:
- Manhole and inlet steps shall be plastic coated reinforced steel. Plastic coated manhole steps shall be polypropylene coated steel reinforcing rods with rod and pull out ratings meeting OSHA standards
 - For larger diameter manholes (deeper than 22') a caged aluminum ladder shall be used.
 - Manhole and inlet steps shall be installed at maximum 16" intervals.

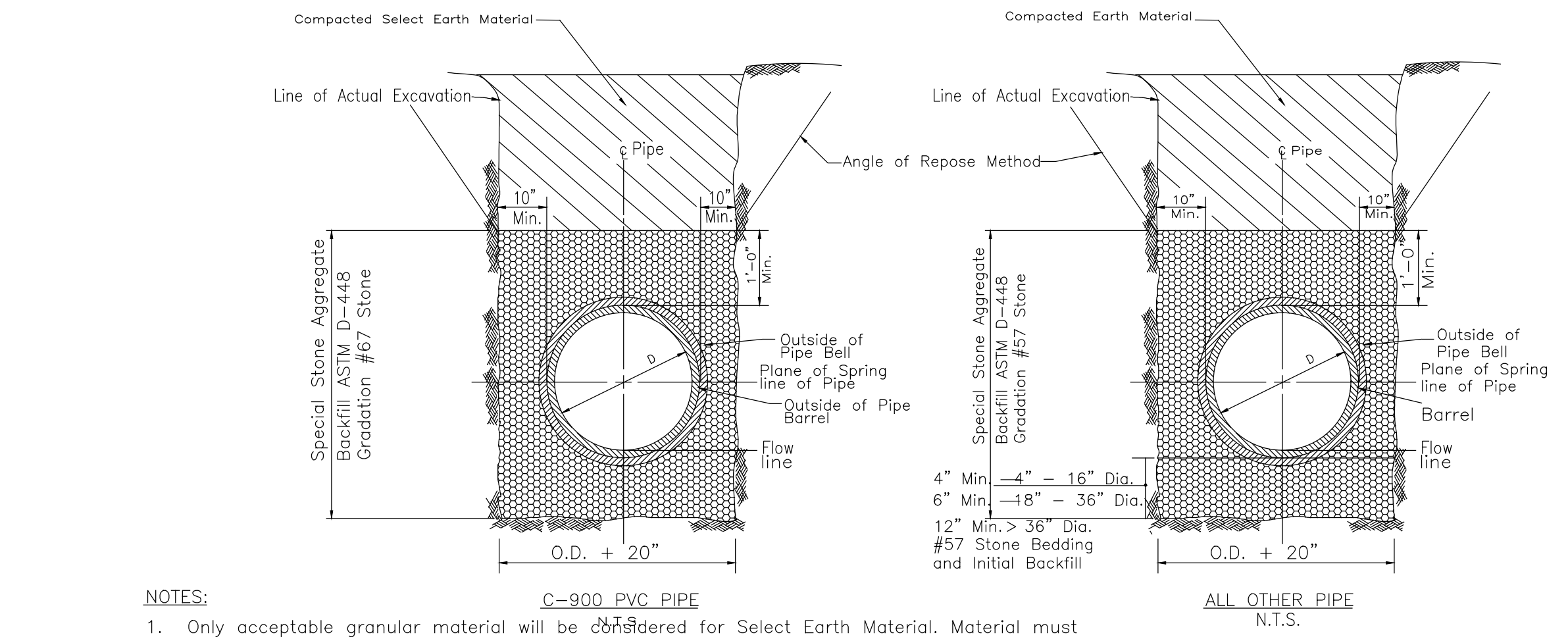
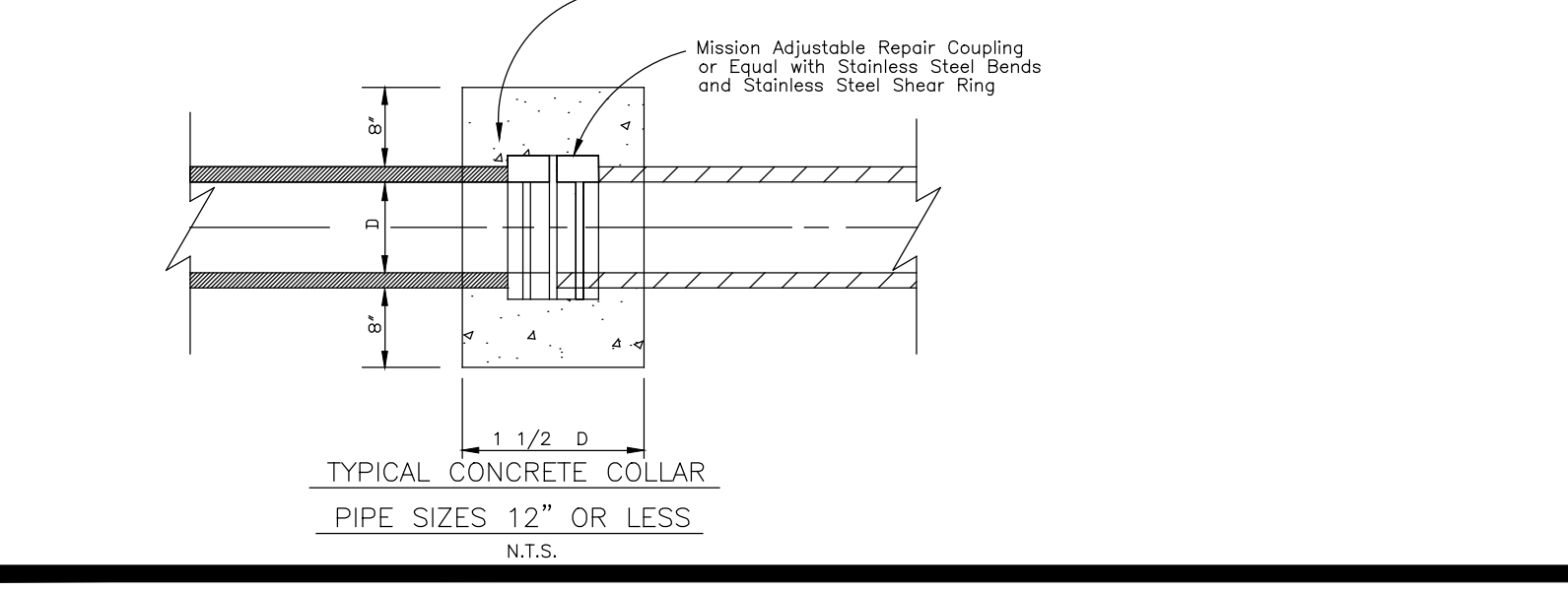
JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
MANHOLE STEP DETAILS	
NOV. 1999	STANDARD DRAWING NO. SD1580
APPROVED: _____	STANDARD DRAWING NO. SD1580



JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PRECAST MANHOLE FOR PIPES 18" DIAMETER OR LESS	
NOV. 1999	STANDARD DRAWING NO. SD1500
APPROVED: _____	STANDARD DRAWING NO. SD1500

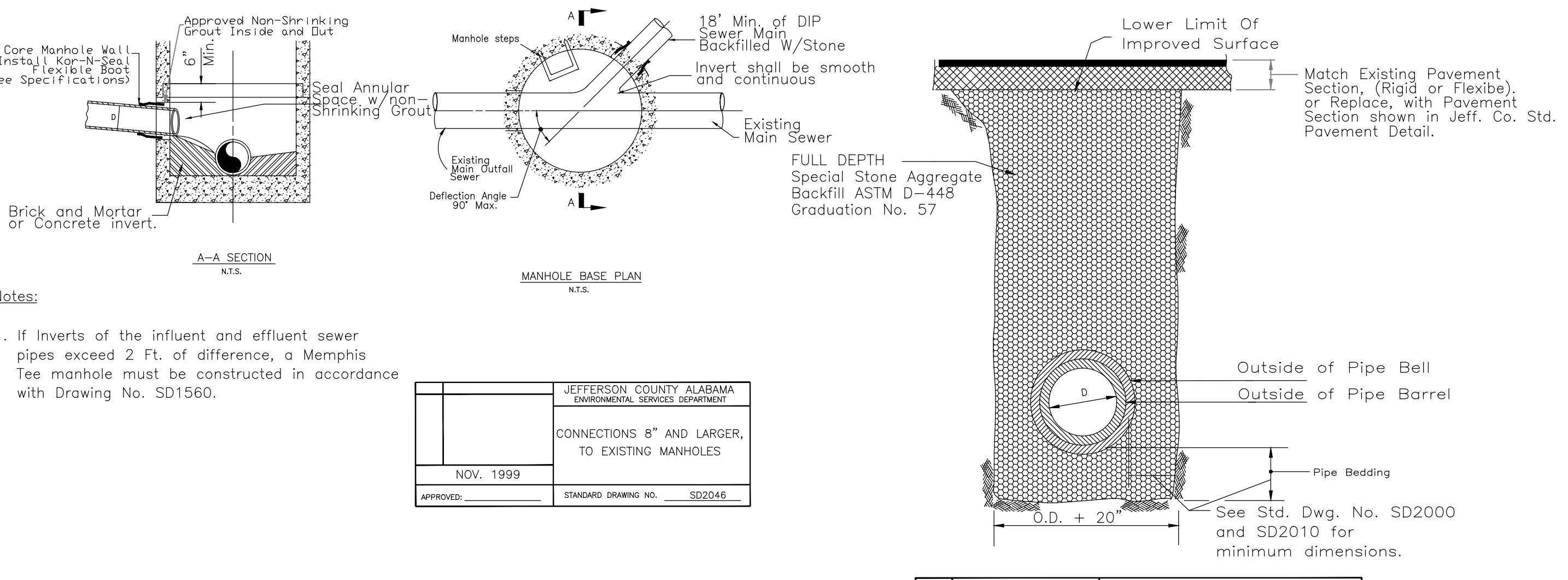


JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PRECAST TERMINAL MANHOLE	
NOV. 1999	STANDARD DRAWING NO. SD1510
APPROVED: _____	STANDARD DRAWING NO. SD1510



- NOTES:
- Only acceptable granular material will be considered for Select Earth Material. Material must be compacted to 95% Standard Proctor Density and the results of the Standard Proctor Density test and the compaction test shall be submitted to the Engineer.
 - For Bedding under Paved Surfaces see Std. Dwg. No. sd2030.
 - All pipe shall have a minimum depth of 4" pipe bedding in a soil trench, and a minimum depth of 6" pipe bedding in a rock trench.

JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PIPE BEDDING AND BACKFILL DETAILS UNIMPROVED SURFACES	
NOV. 1999	STANDARD DRAWING NO. SD2010_RCC
APPROVED: _____	STANDARD DRAWING NO. SD2010_RCC



- NOTES:
- If Inverts of the influent and effluent sewer pipes exceed 2 Ft. of difference, a Memphis Tee manhole must be constructed in accordance with Drawing No. SD1560.

JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
CONNECTIONS 8" AND LARGER TO EXISTING MANHOLES	
NOV. 1999	STANDARD DRAWING NO. SD2046
APPROVED: _____	STANDARD DRAWING NO. SD2046

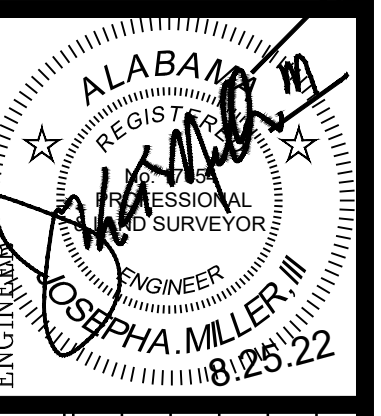
JEFFERSON COUNTY ALABAMA ENVIRONMENTAL SERVICES DEPARTMENT	
PIPE BEDDING AND BACKFILL DETAILS UNDER PAVEMENT	
NOV. 1999	STANDARD DRAWING NO. SD2030_RCC
APPROVED: _____	STANDARD DRAWING NO. SD2030_RCC

- Trench configuration shown depicts the use "Trenchwall Shoring" Method, which shall be used under all paved areas unless otherwise directed by the Engineer.
- The contractor shall refer to applicable "O.S.H.A. Regulations for "Open Trench Excavations".

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TELEPHONE (205) 320-0114

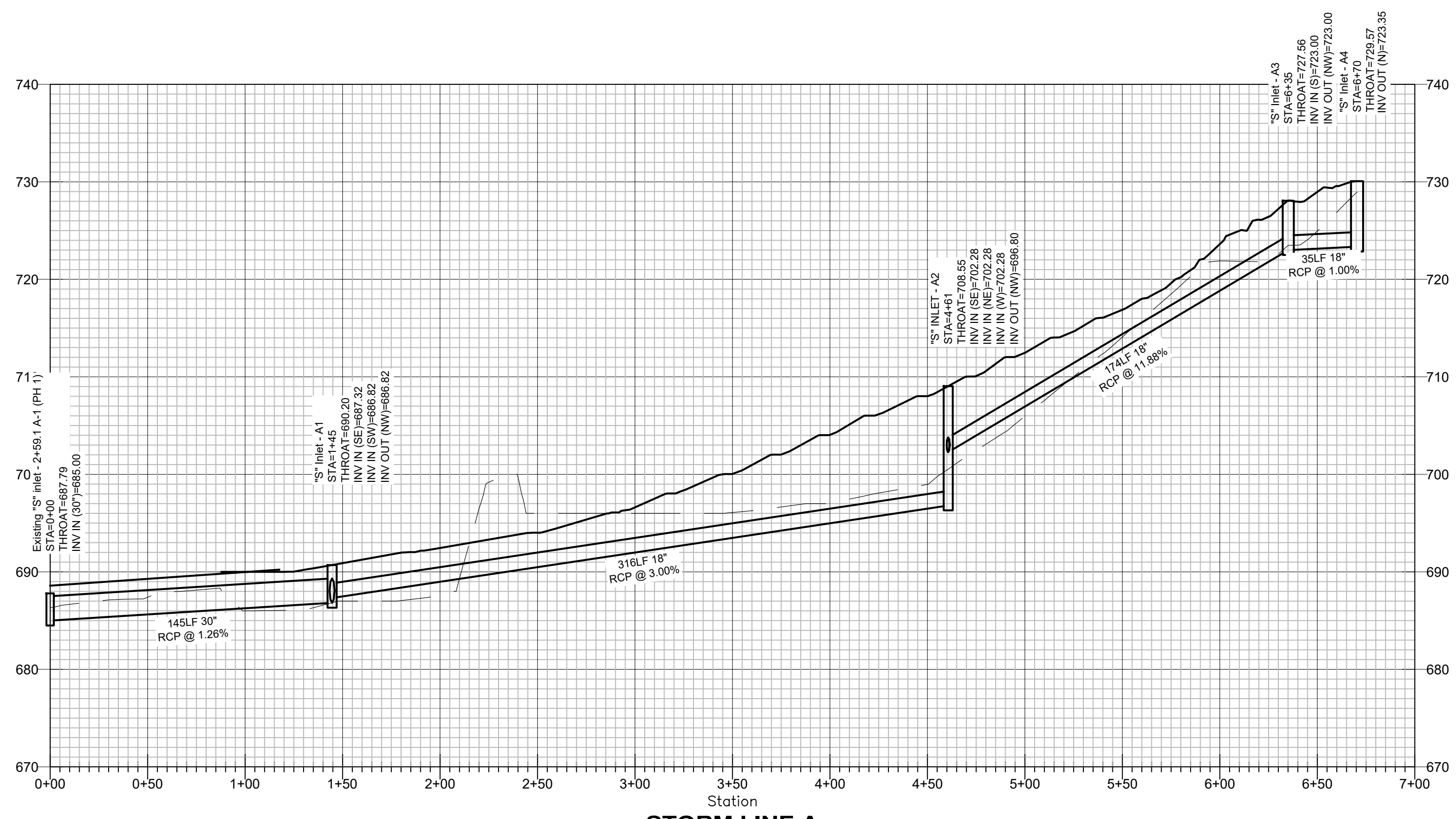


PROJECT
SANITARY SEWER DETAILS
ROCK HAMPTON
PHASE 2
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15+TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

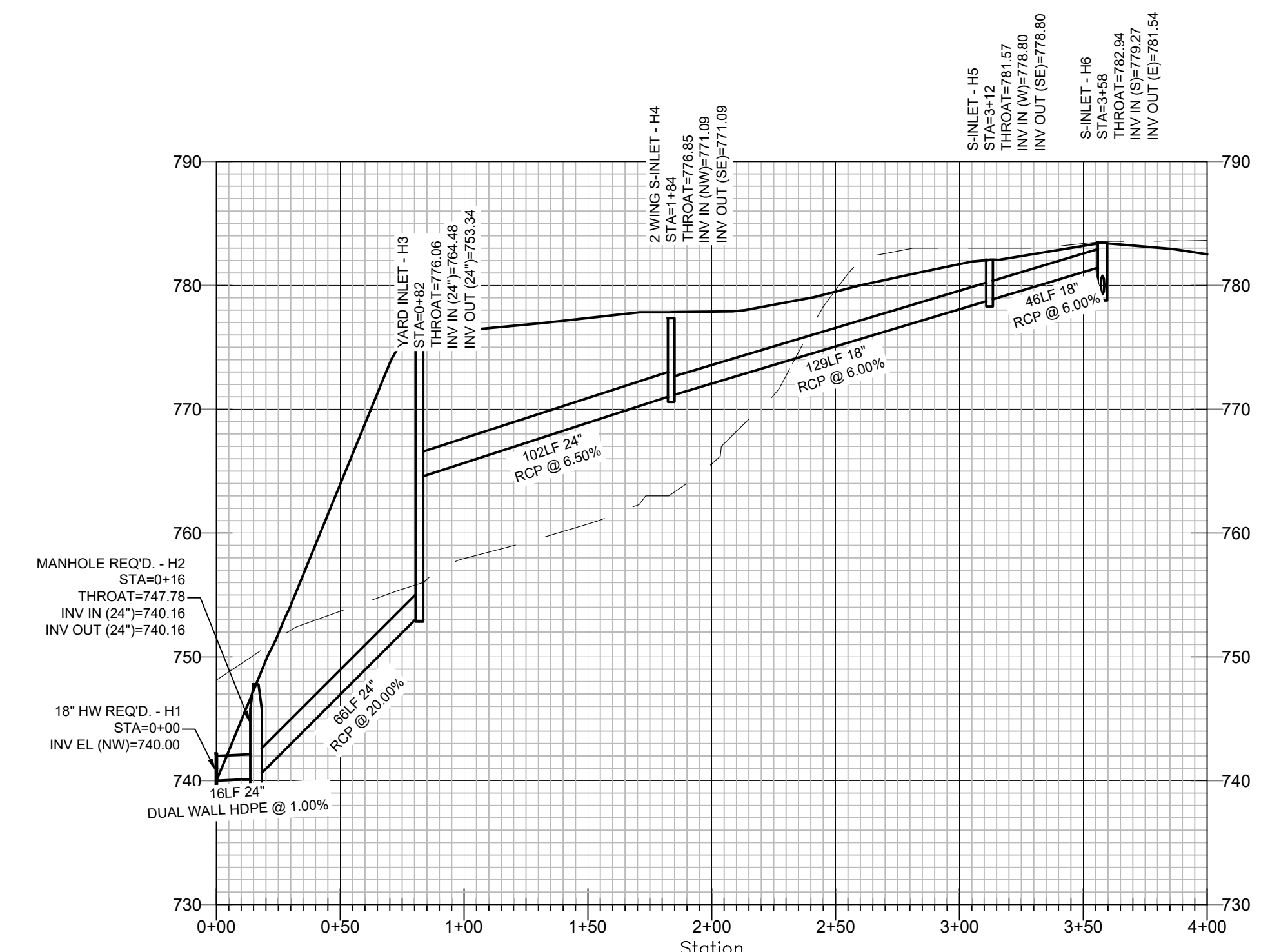


DATE	REVISIONS

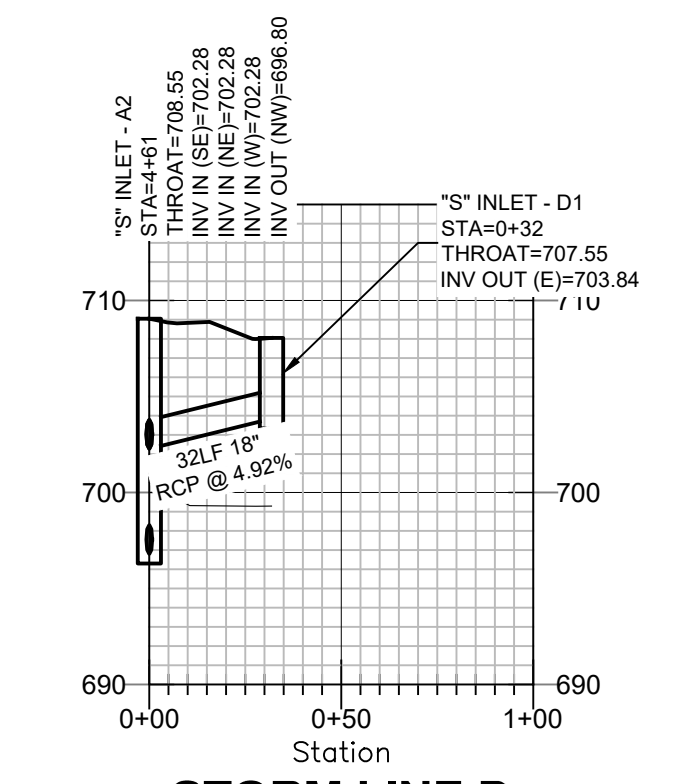
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	ROCK HAMPTON
	DATE: 08.15.19
	DRAWN: JAM
	CHECKED: JAM III
	SCALE: 1"=60'
	SHEET



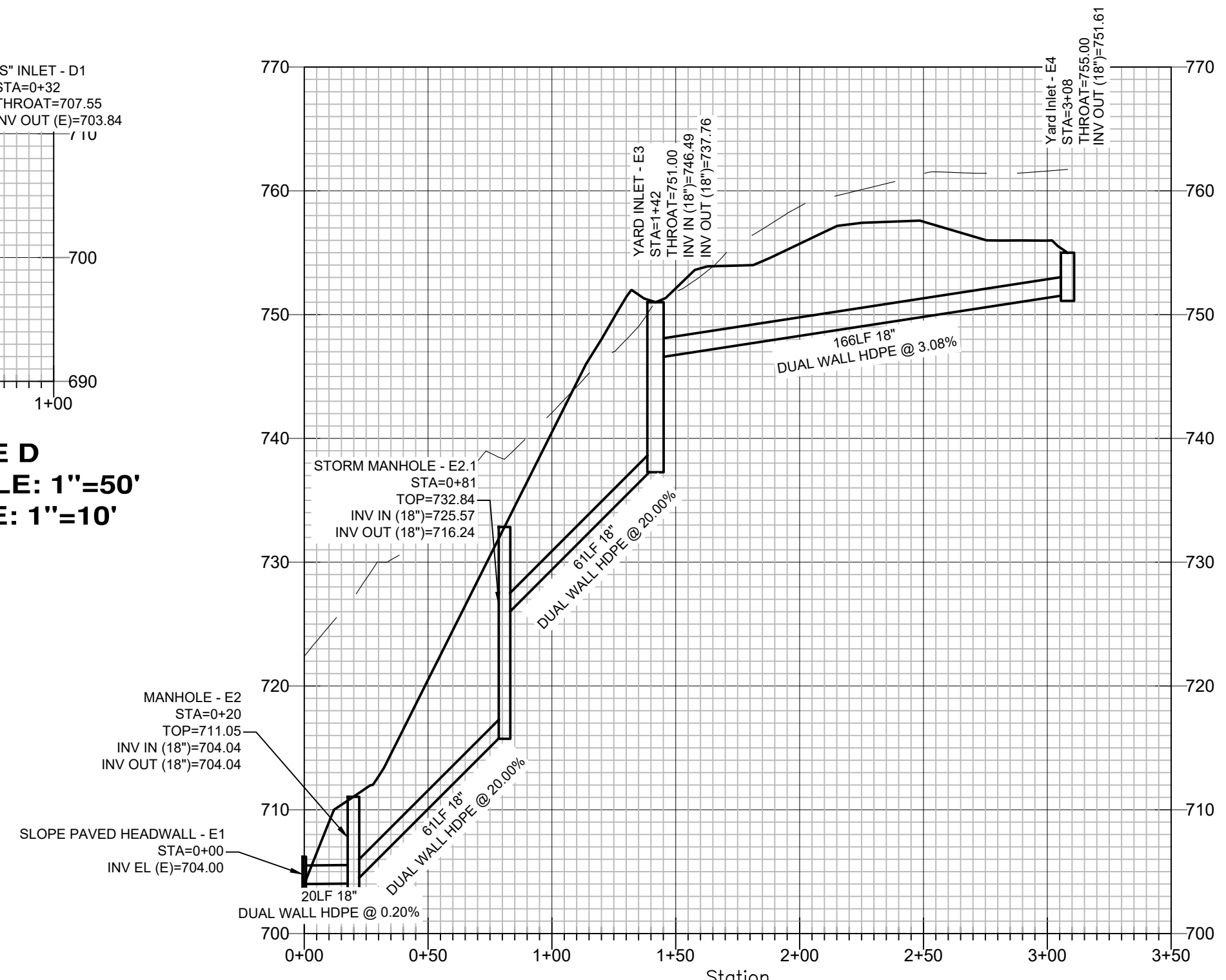
STORM LINE A
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 VERTICAL SCALE: 1"=10'



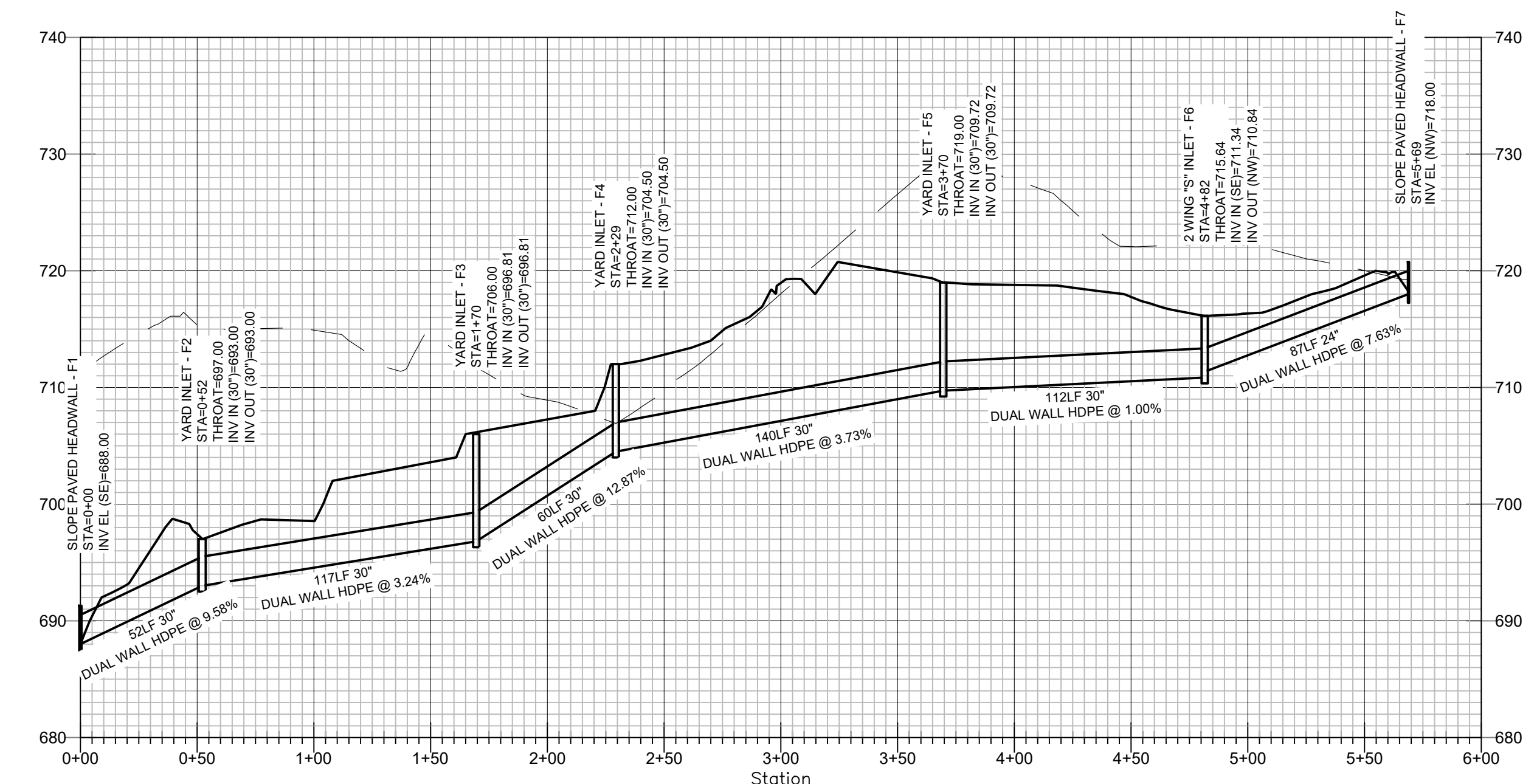
STORM LINE H
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



STORM LINE D
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'



STORM LINE E
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'

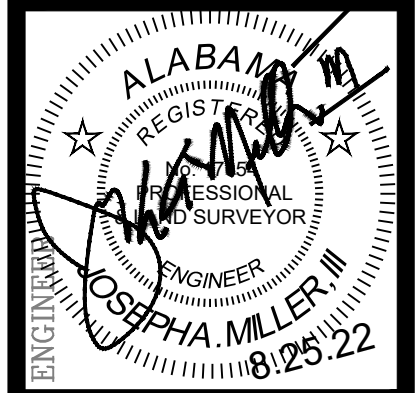


STORM LINE F
 HORIZONTAL SCALE: 1"=50'
 VERTICAL SCALE: 1"=10'

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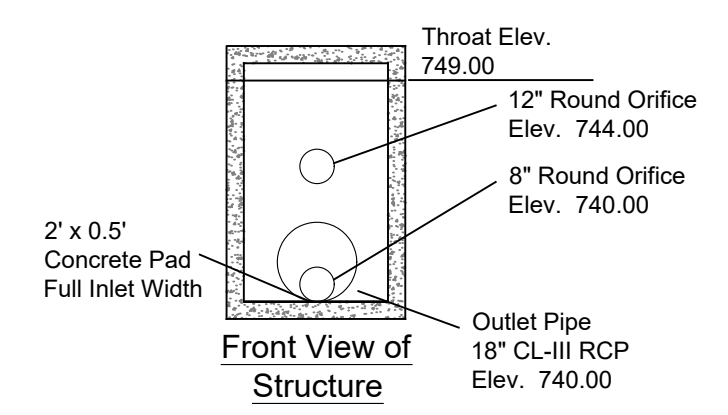
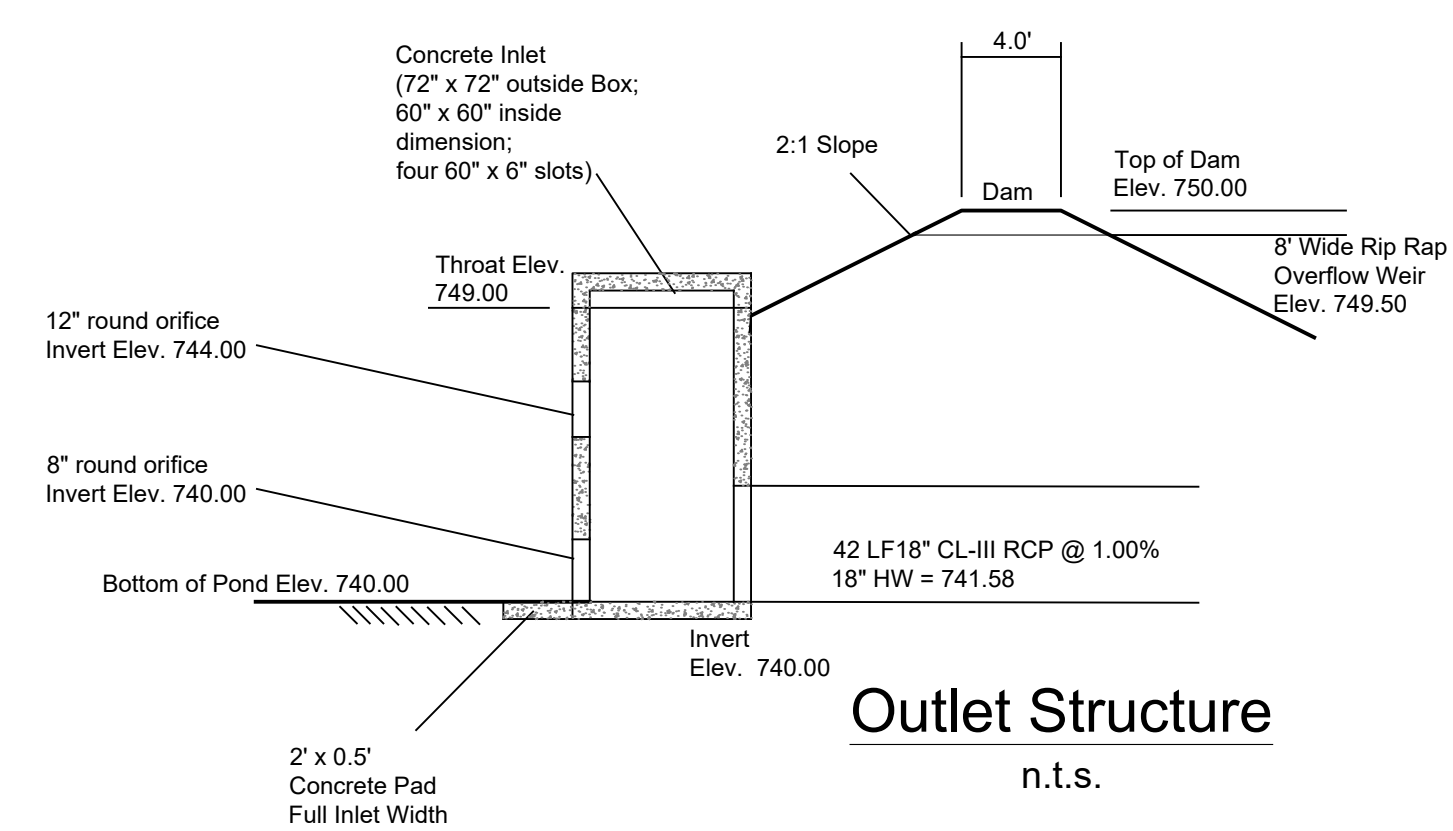
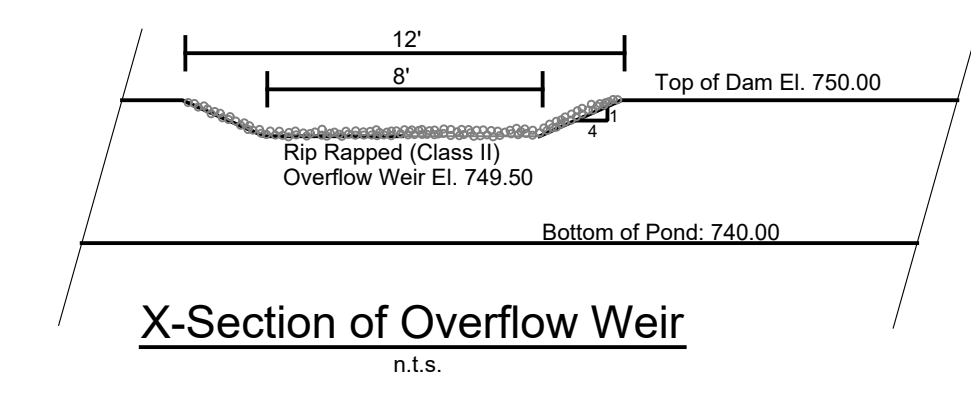


STORM SEWER PROFILES
ROCK HAMPTON
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
 CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

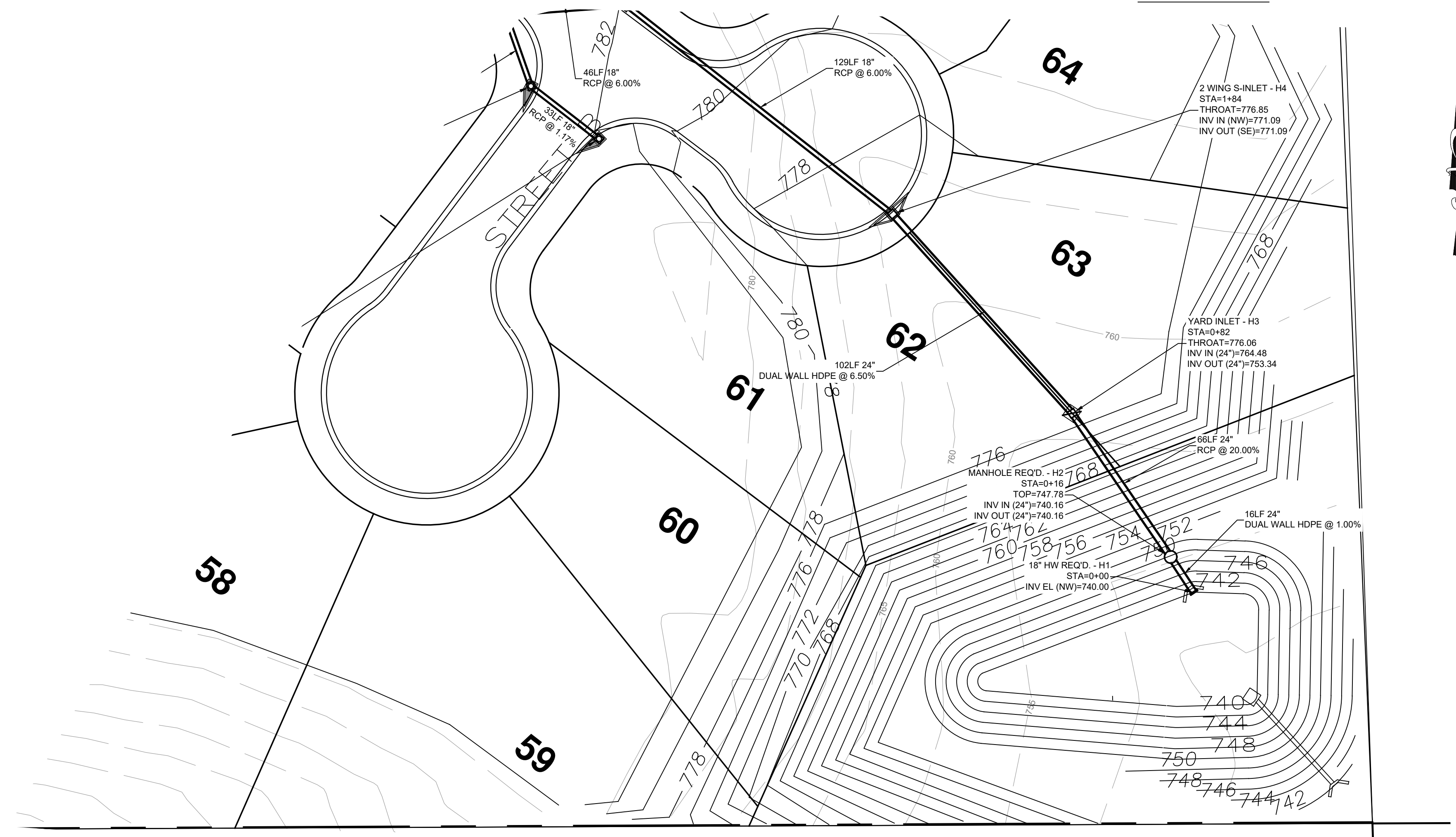


DATE	REVISIONS

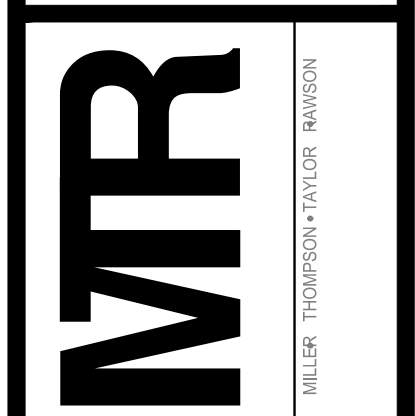
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 ROCK HAMPTON
 DATE: 08.15.19
 DRAWN: JAM
 CHECKED: JAM III
 SCALE: 1"=60'
 SHEET 09



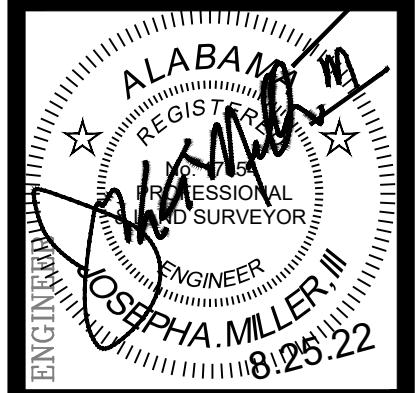
EAST POND No. 2



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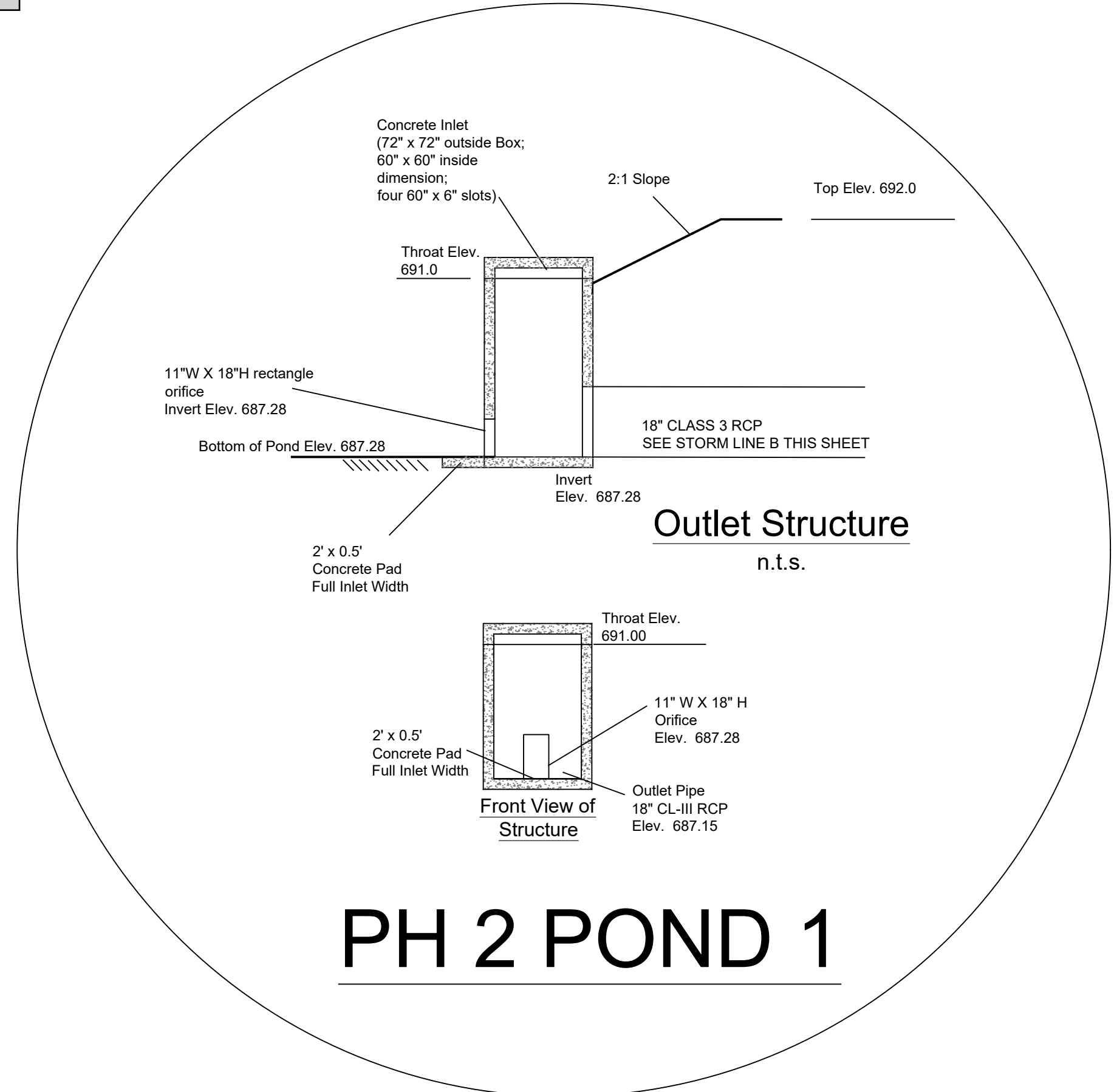


PROJECT: STORM POND PLAN
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

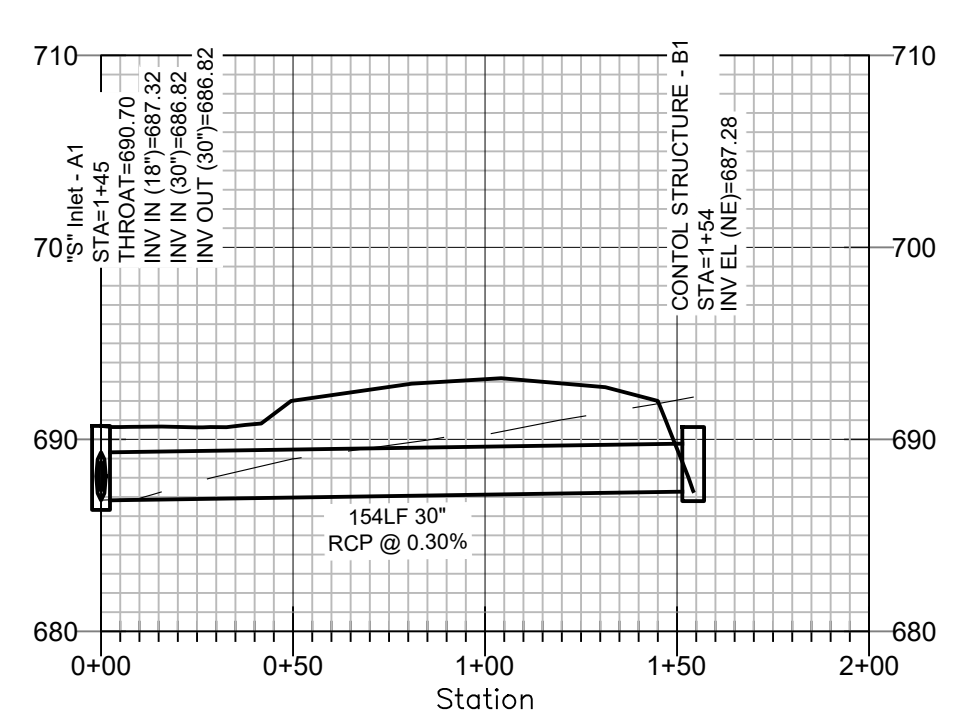


DATE	REVISIONS

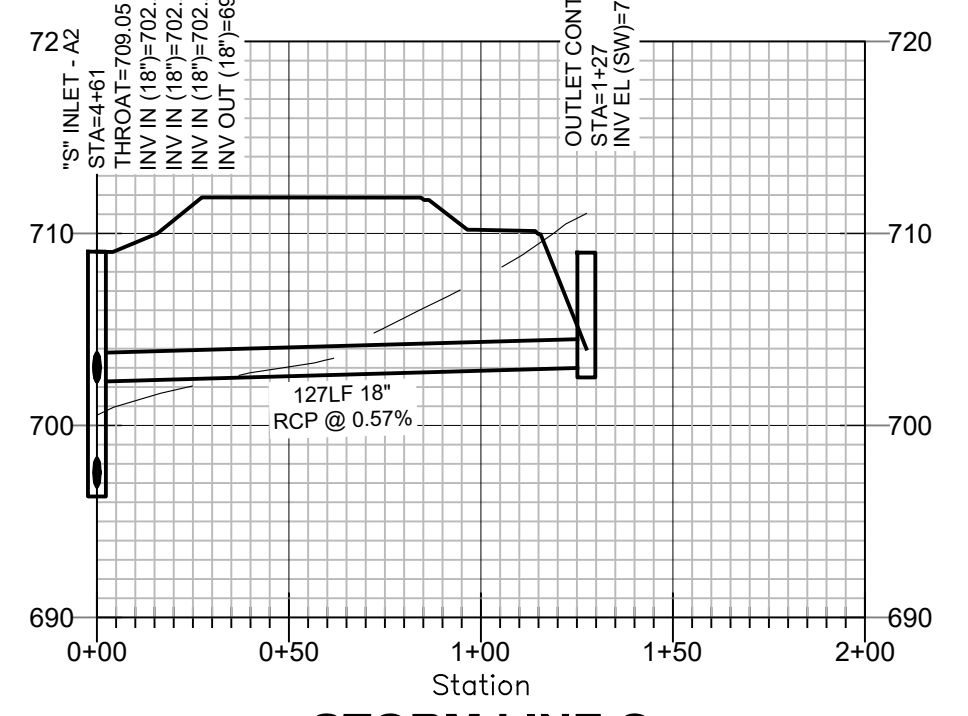
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ROCK HAMPTON
DATE: 08.15.19
DRAWN: JAM
CHECKED: JAM III
SCALE: 1"=60'
SHEET



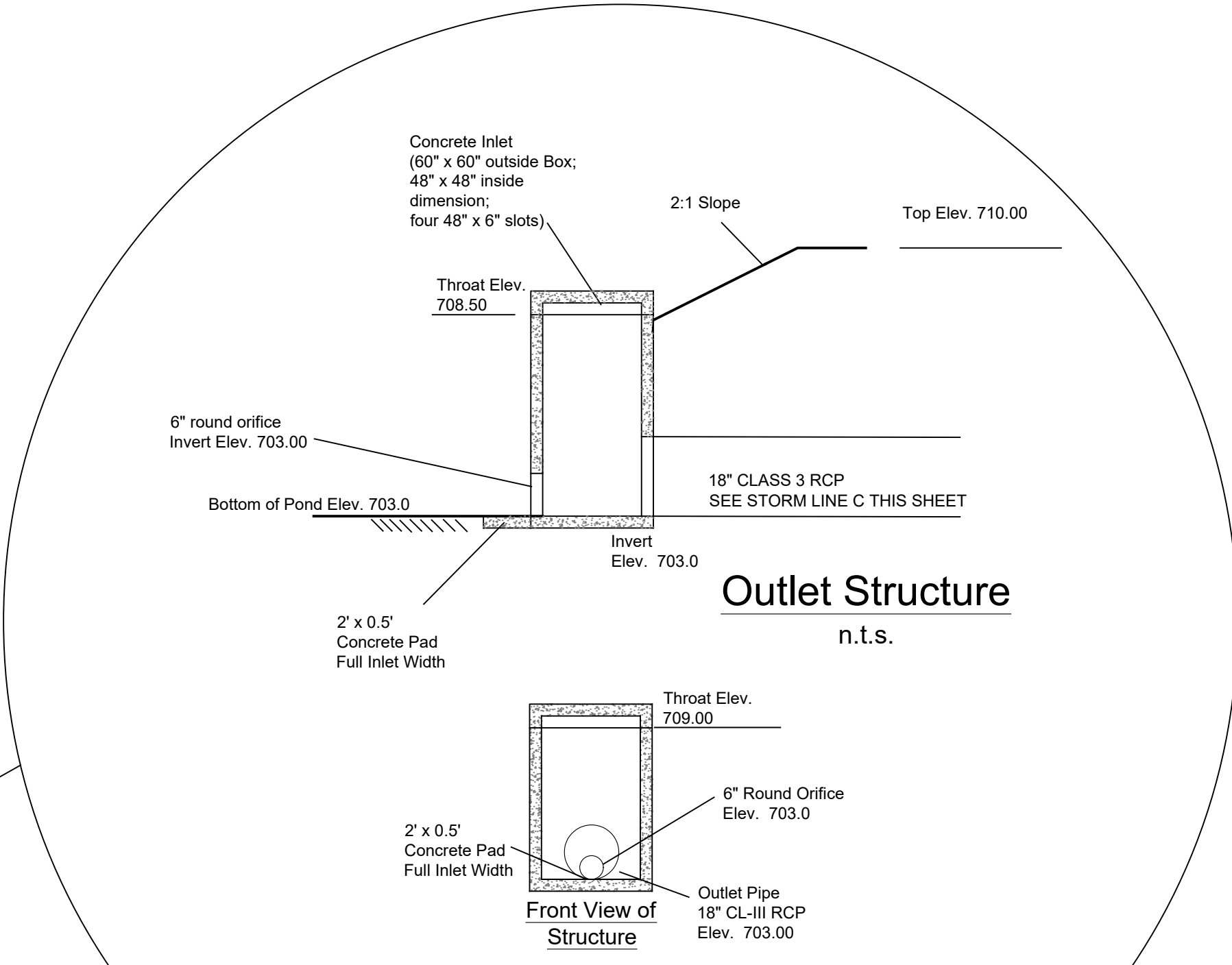
PH 2 POND 1



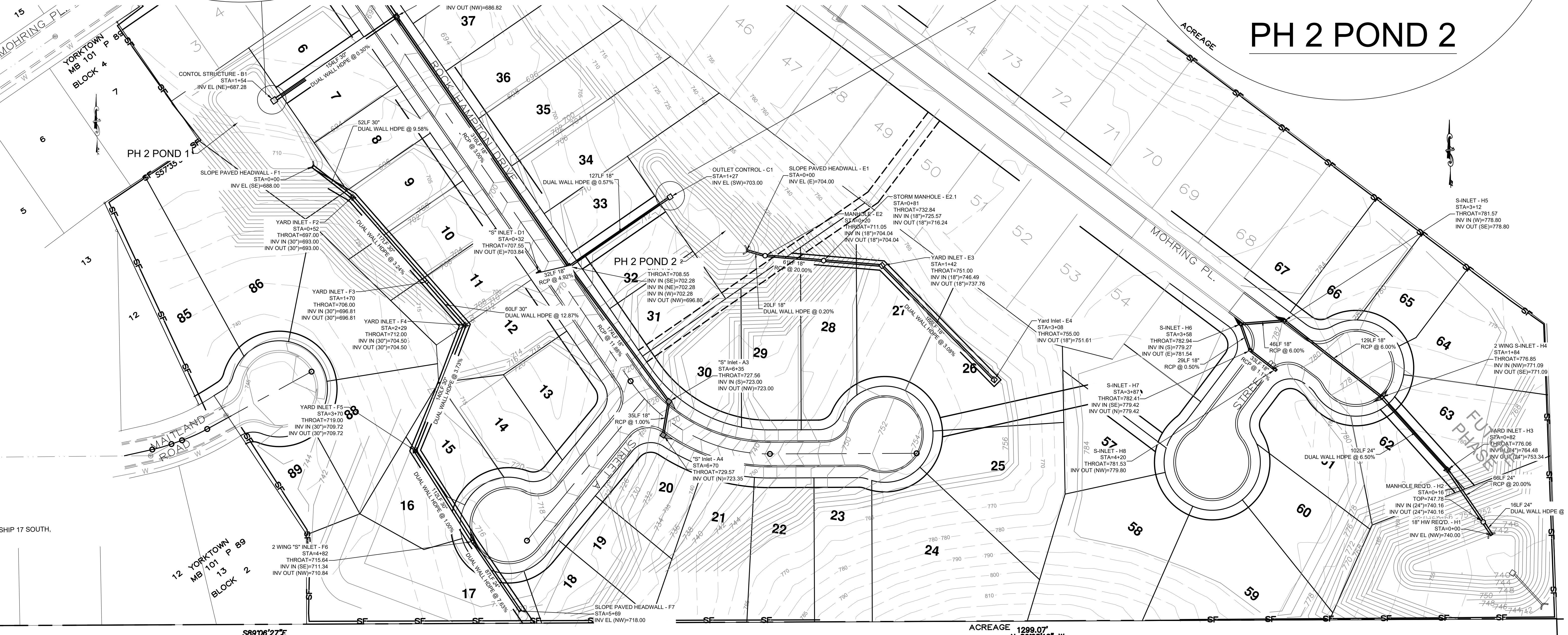
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VERTICAL SCALE: 1"=10'



STORM LINE C
HORIZONTAL SCALE: 1"=50'
VERTICAL SCALE: 1"=10'



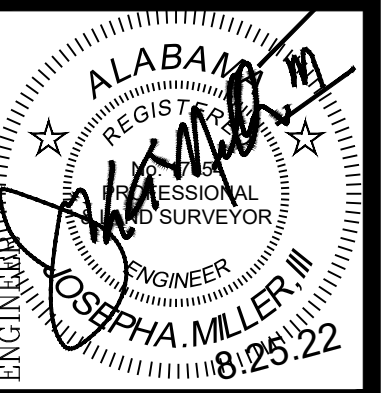
PH 2 POND 2



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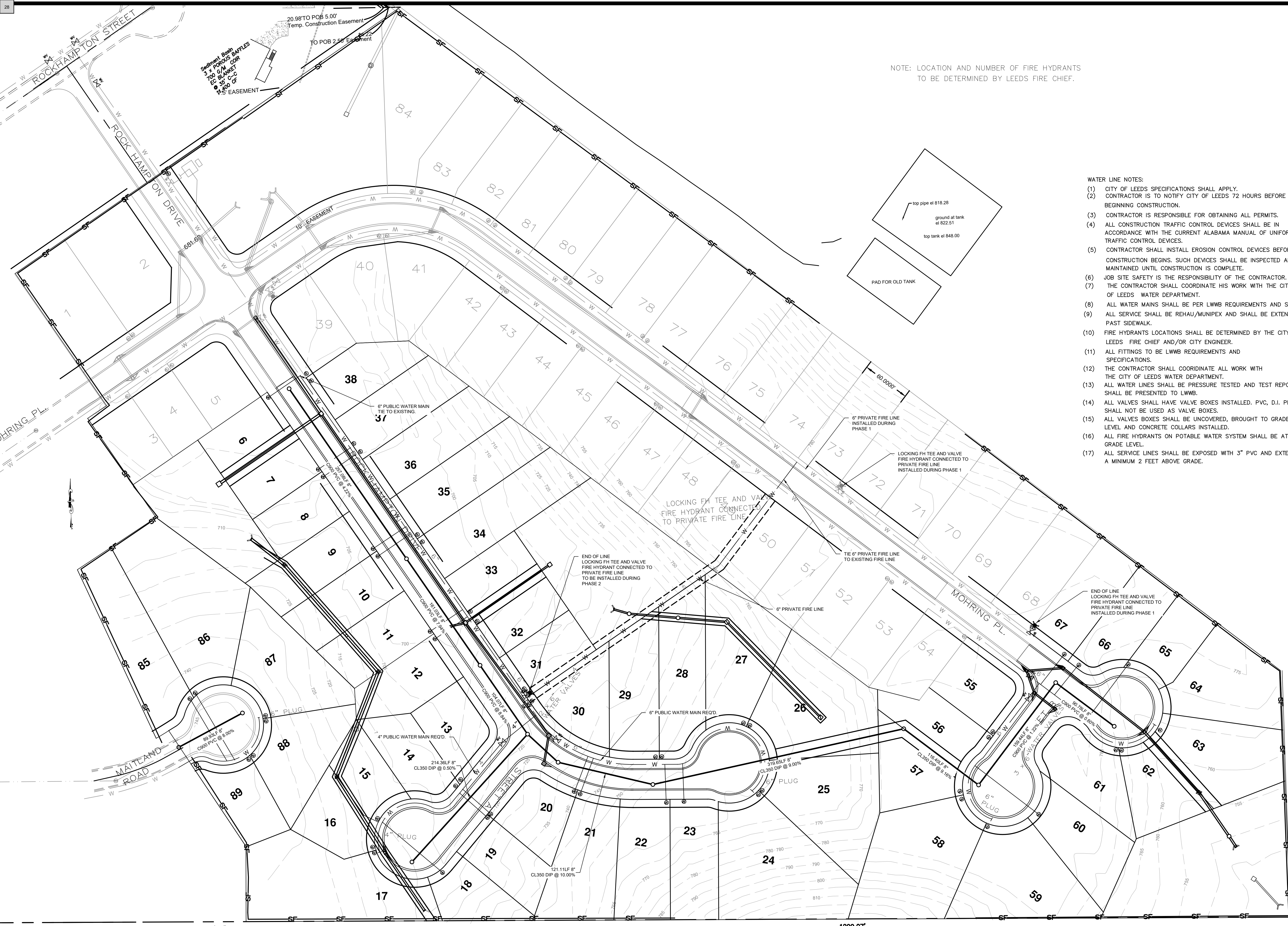


STORM SEWER PLAN
ROCK HAMPTON
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



NO.	DATE	REVISIONS

JOB NO:
FILE NAME: I/SUBDIVISIONS
ROCK HAMPTON
DATE:
08.15.19
DRAWN:
JAM
CHECKED:
JAM III
SCALE:
1"=60'
SHEET

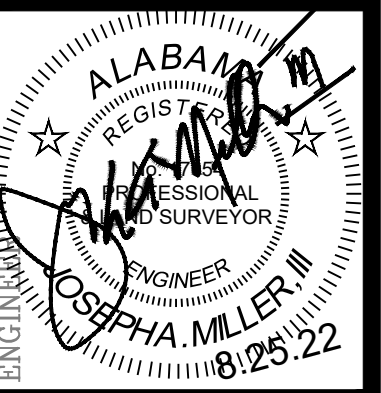


- WATER LINE NOTES:
- (1) CITY OF LEEDS SPECIFICATIONS SHALL APPLY.
 - (2) CONTRACTOR IS TO NOTIFY CITY OF LEEDS 72 HOURS BEFORE BEGINNING CONSTRUCTION.
 - (3) CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
 - (4) ALL CONSTRUCTION TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE CURRENT ALABAMA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 - (5) CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES BEFORE CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AND MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
 - (6) JOB SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - (7) THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CITY OF LEEDS WATER DEPARTMENT.
 - (8) ALL WATER MAINS SHALL BE PER LWMB REQUIREMENTS AND SPECS.
 - (9) ALL SERVICE SHALL BE REHAU/MUNIPEX AND SHALL BE EXTEND PAST SIDEWALK.
 - (10) FIRE HYDRANTS LOCATIONS SHALL BE DETERMINED BY THE CITY OF LEEDS FIRE CHIEF AND/OR CITY ENGINEER.
 - (11) ALL FITTINGS TO BE LWMB REQUIREMENTS AND SPECIFICATIONS.
 - (12) THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF LEEDS WATER DEPARTMENT.
 - (13) ALL WATER LINES SHALL BE PRESSURE TESTED AND TEST REPORTS SHALL BE PRESENTED TO LWMB.
 - (14) ALL VALVES SHALL HAVE VALVE BOXES INSTALLED. PVC, D.I. PIPE SHALL NOT BE USED AS VALVE BOXES.
 - (15) ALL VALVE BOXES SHALL BE UNCOVERED, BROUGHT TO GRADE LEVEL AND CONCRETE COLLARS INSTALLED.
 - (16) ALL FIRE HYDRANTS ON POTABLE WATER SYSTEM SHALL BE AT GRADE LEVEL.
 - (17) ALL SERVICE LINES SHALL BE EXPOSED WITH 3" PVC AND EXTEND A MINIMUM 2 FEET ABOVE GRADE.

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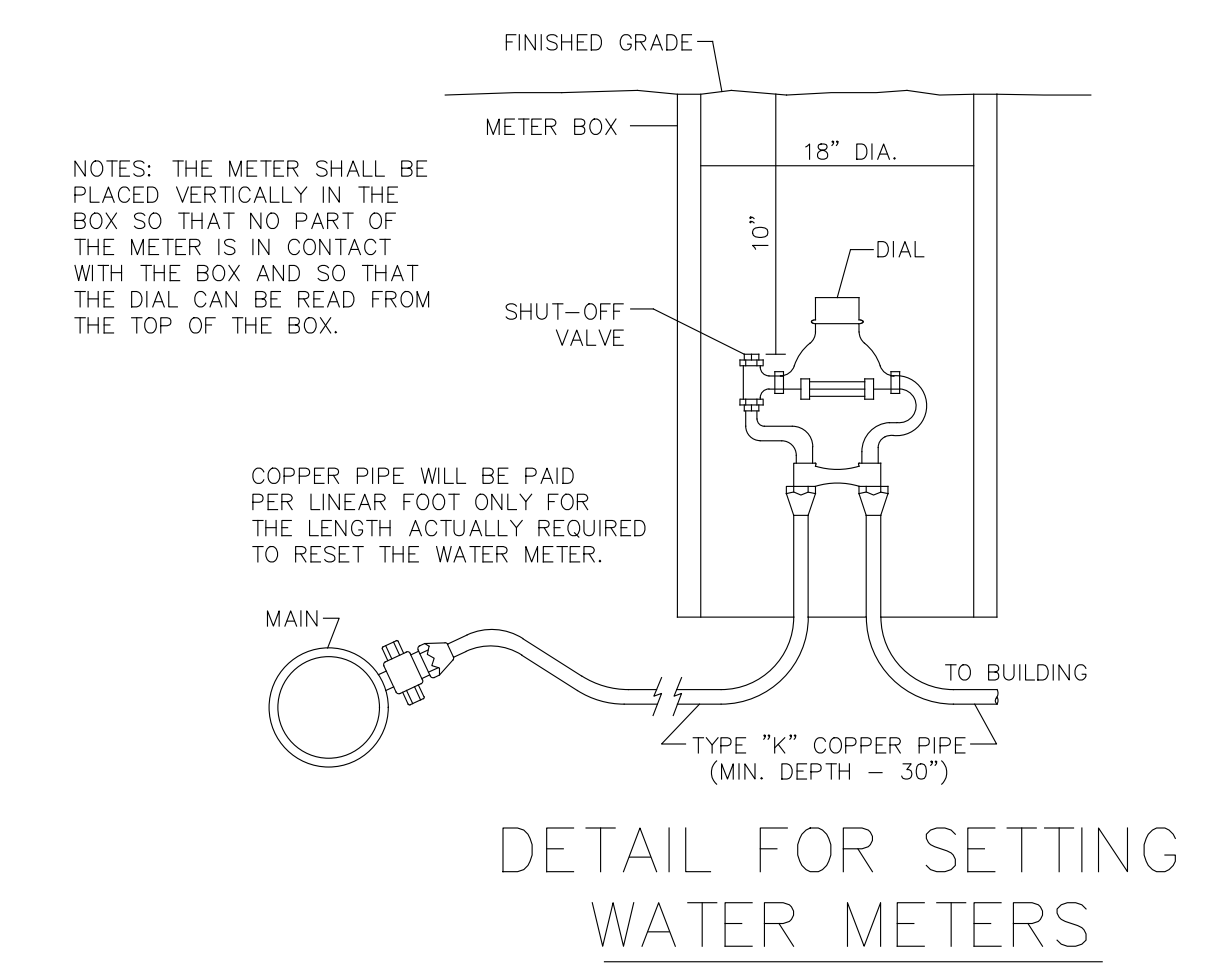
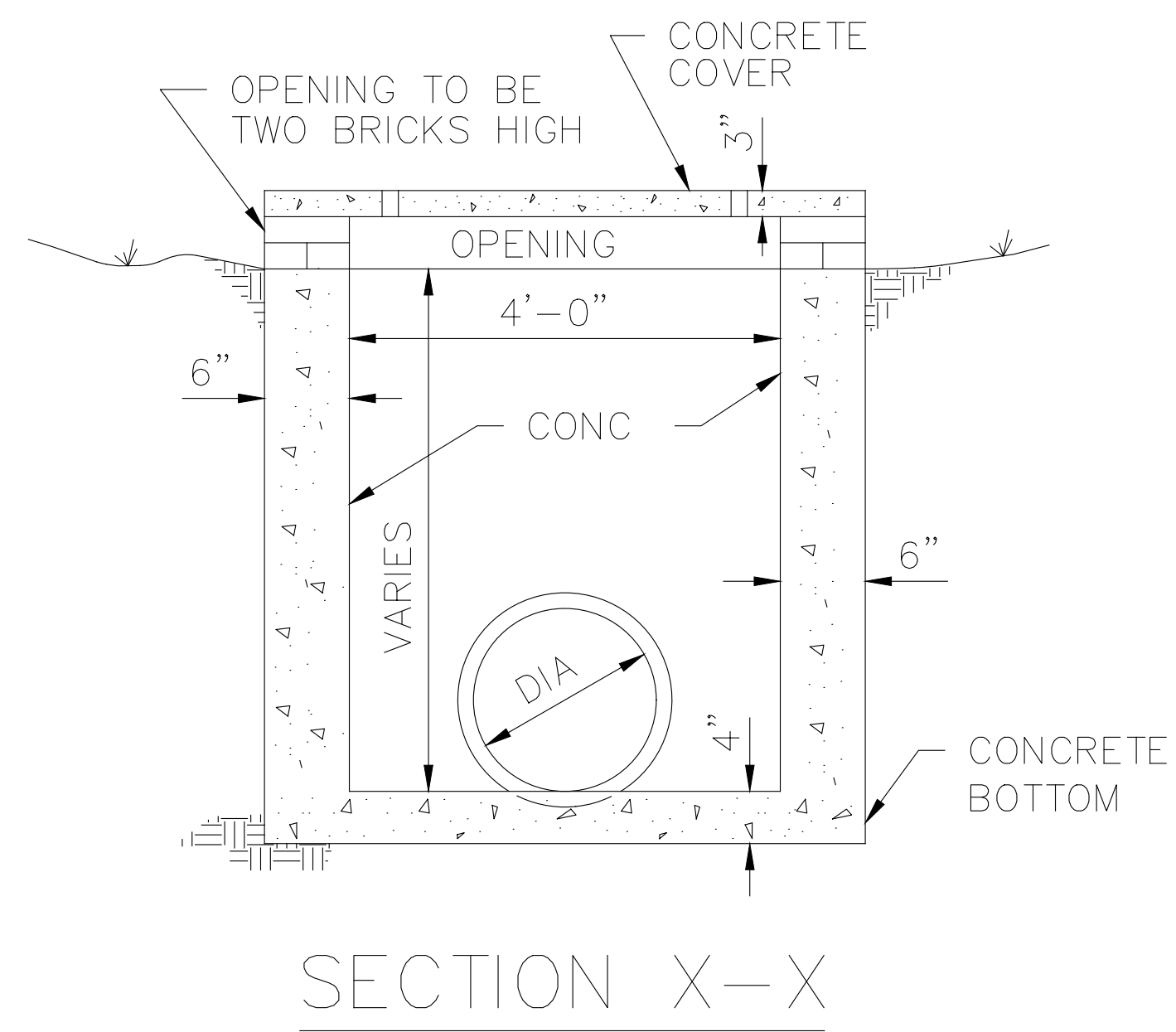
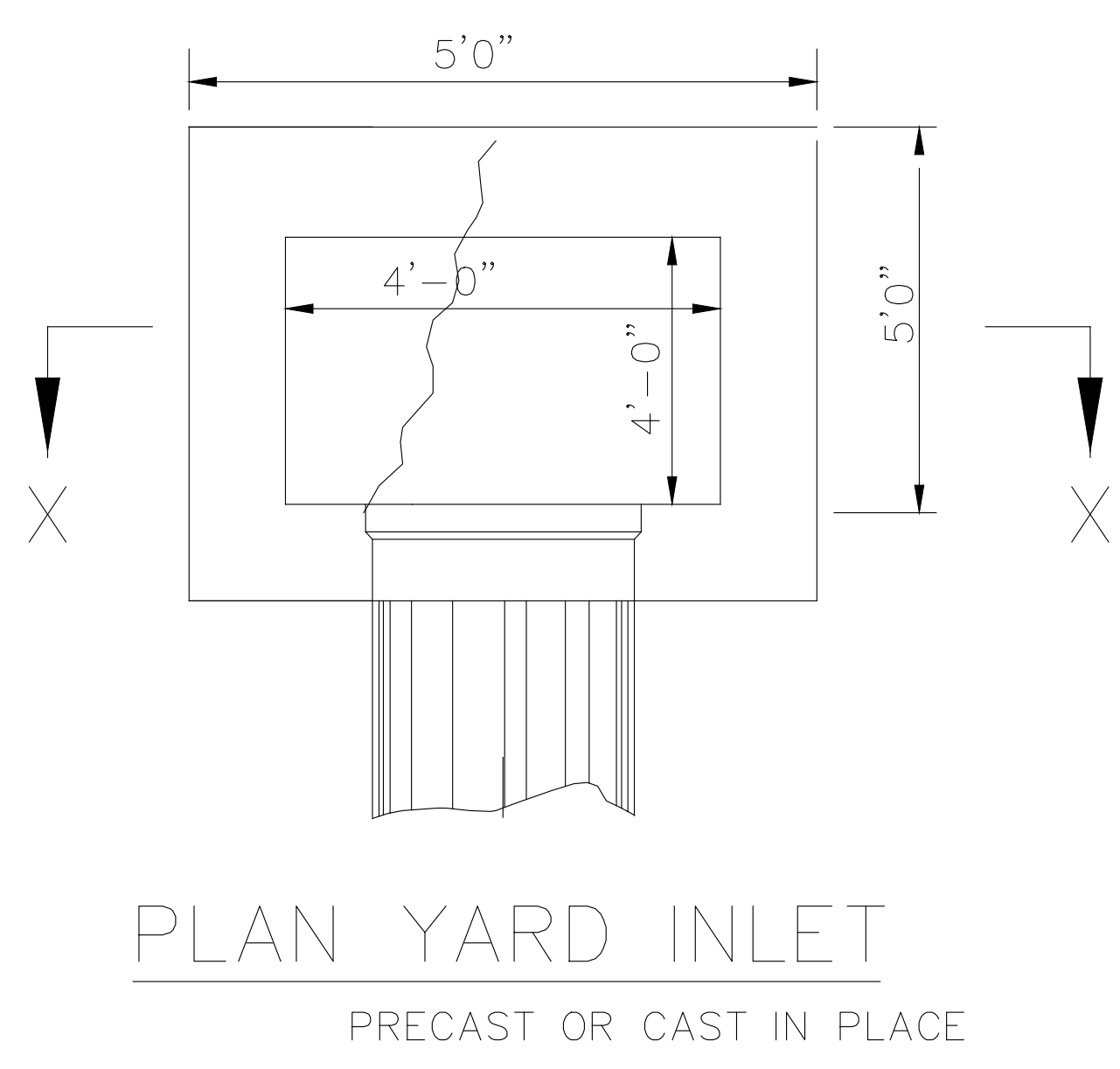
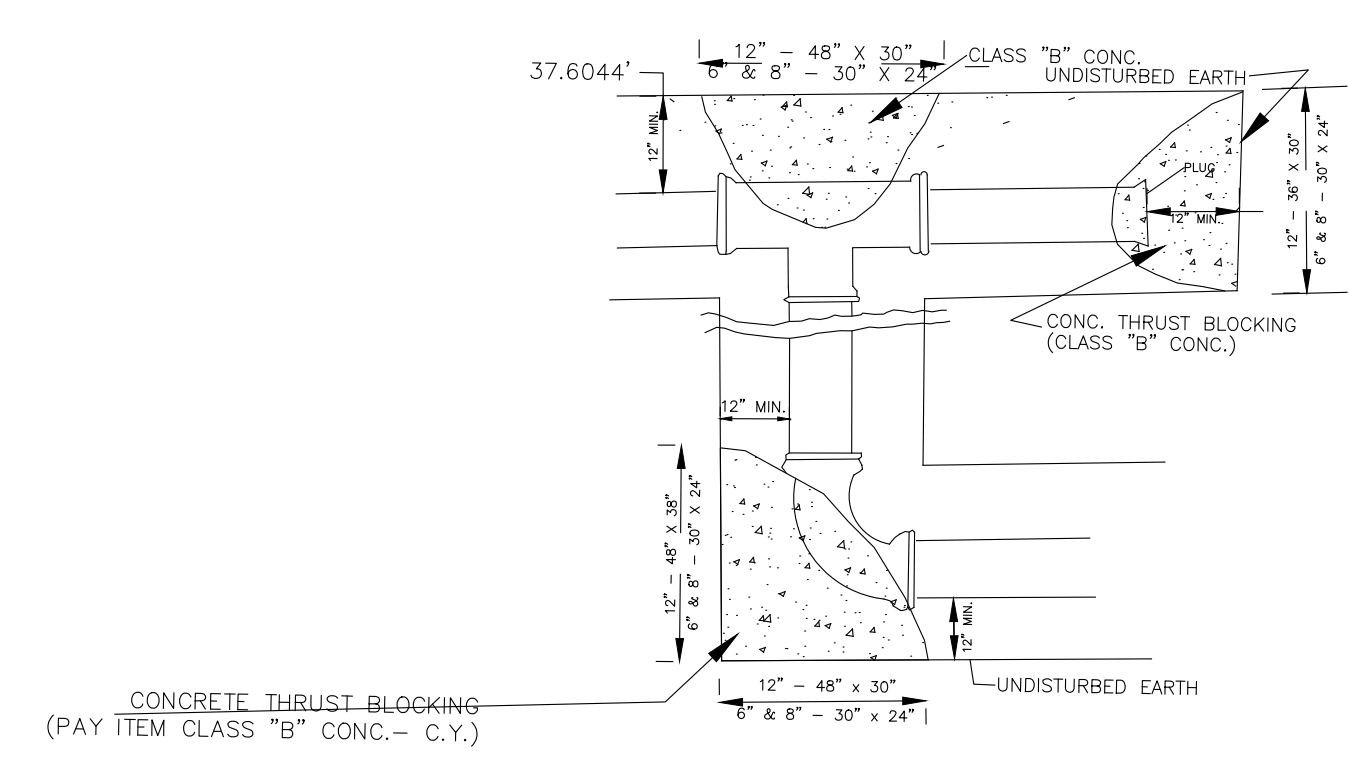
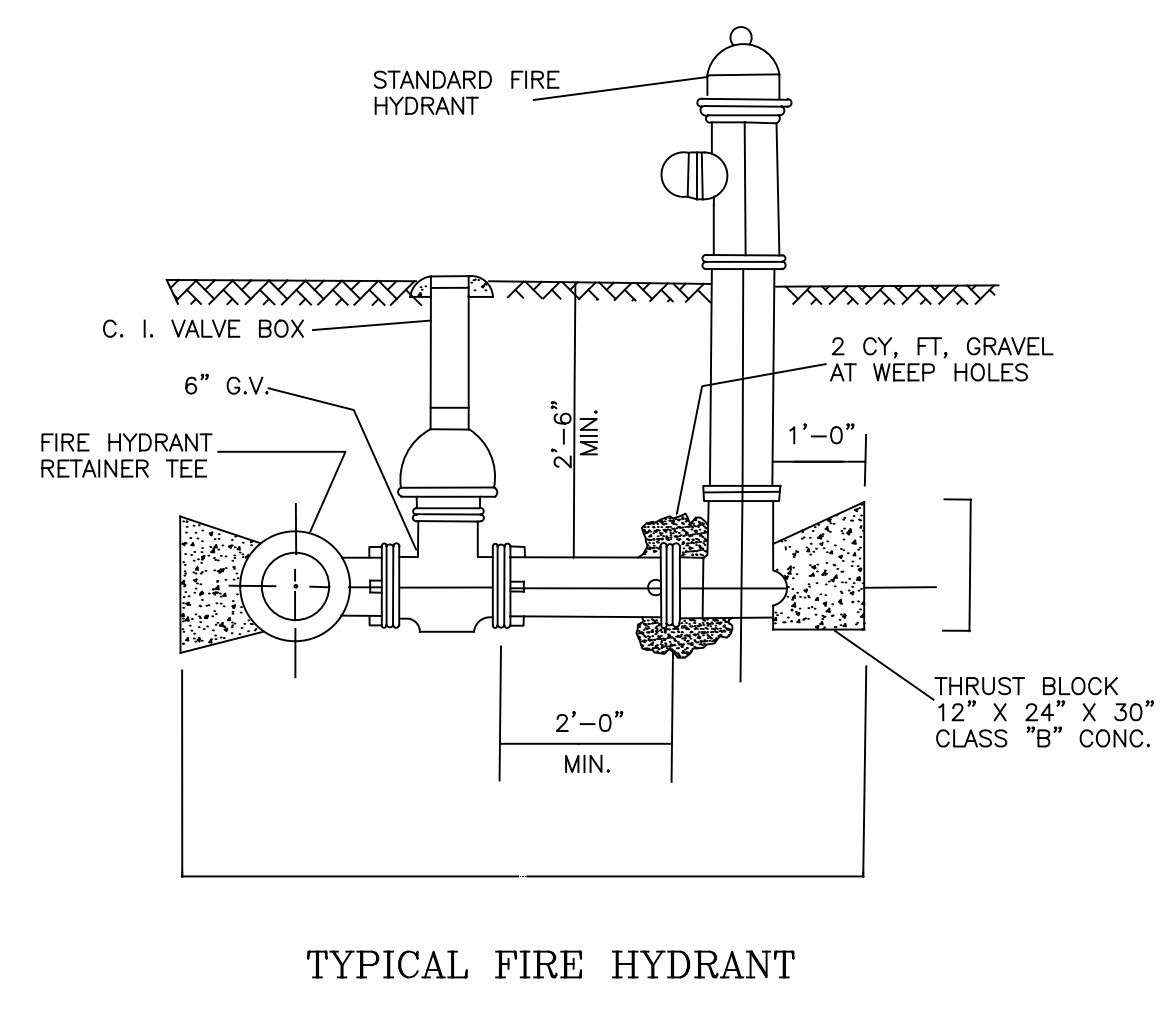
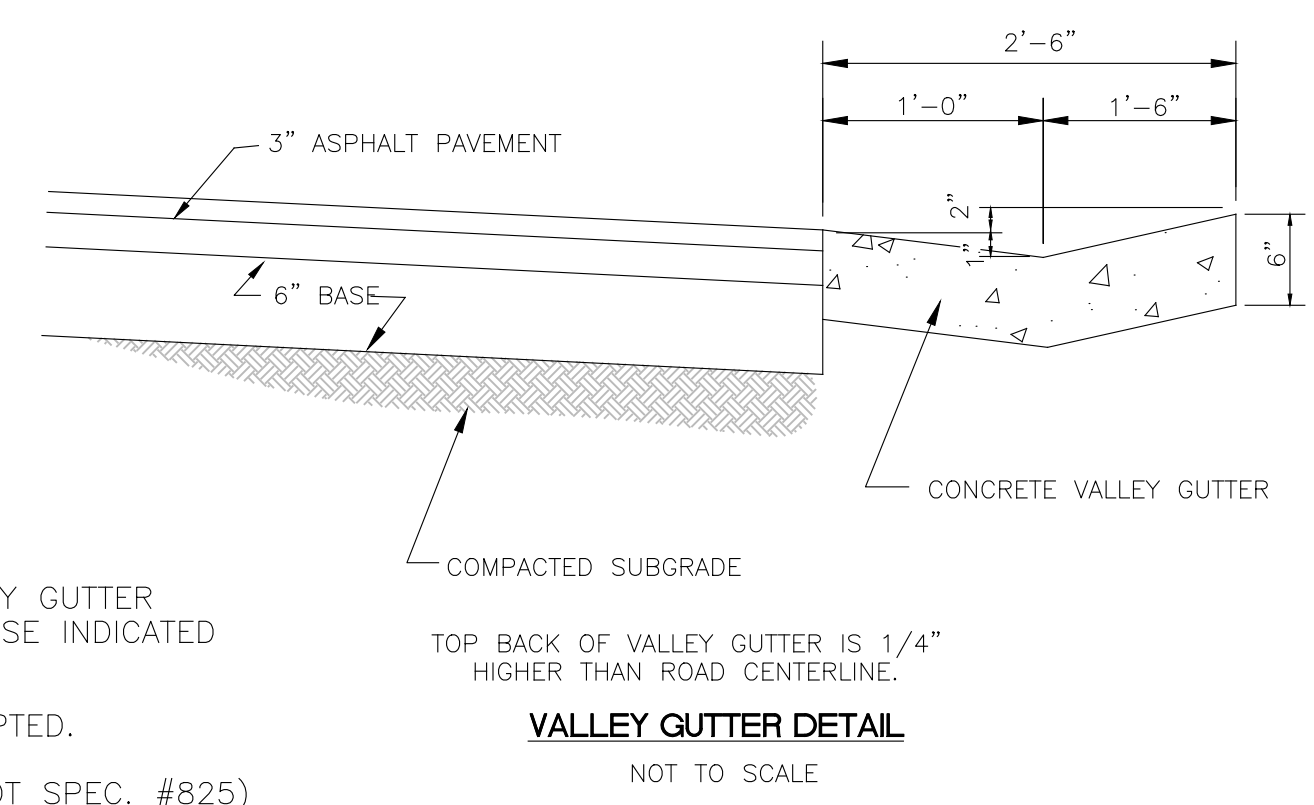
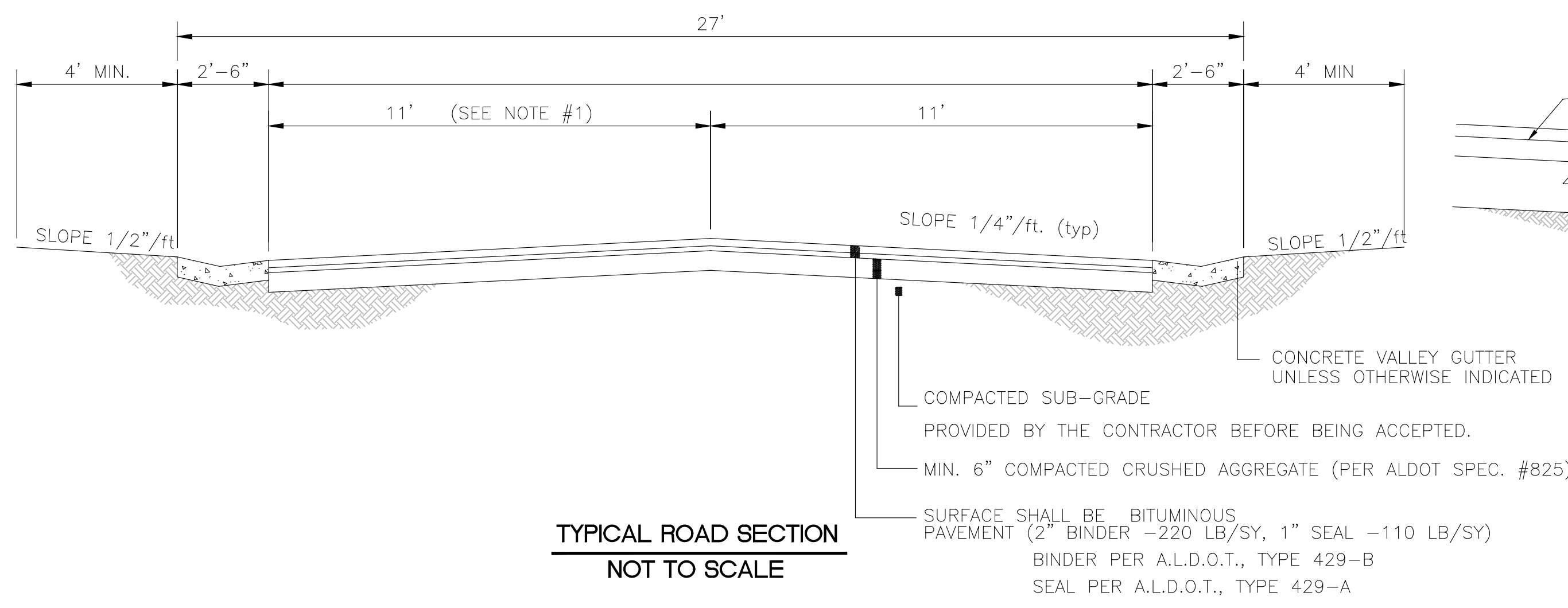


WATER MAIN EXTENSION PLANS
ROCK HAMPTON
 SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
 CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



DATE	REVISIONS
08.24.20	BOOSTER PUMP ADD

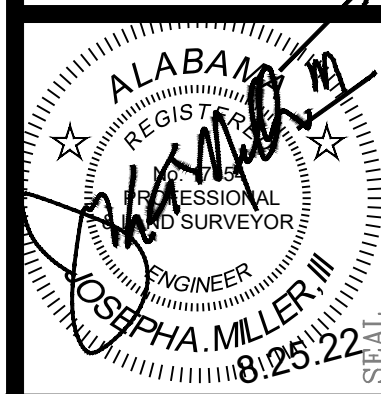
JOB NO.:	
FILE NAME I/SUBDIVISIONS:	ROCK HAMPTON
DATE:	08.15.19
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	1"=50'
SHEET	12



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Hoover, AL 35244
TELEPHONE (205) 320-0114



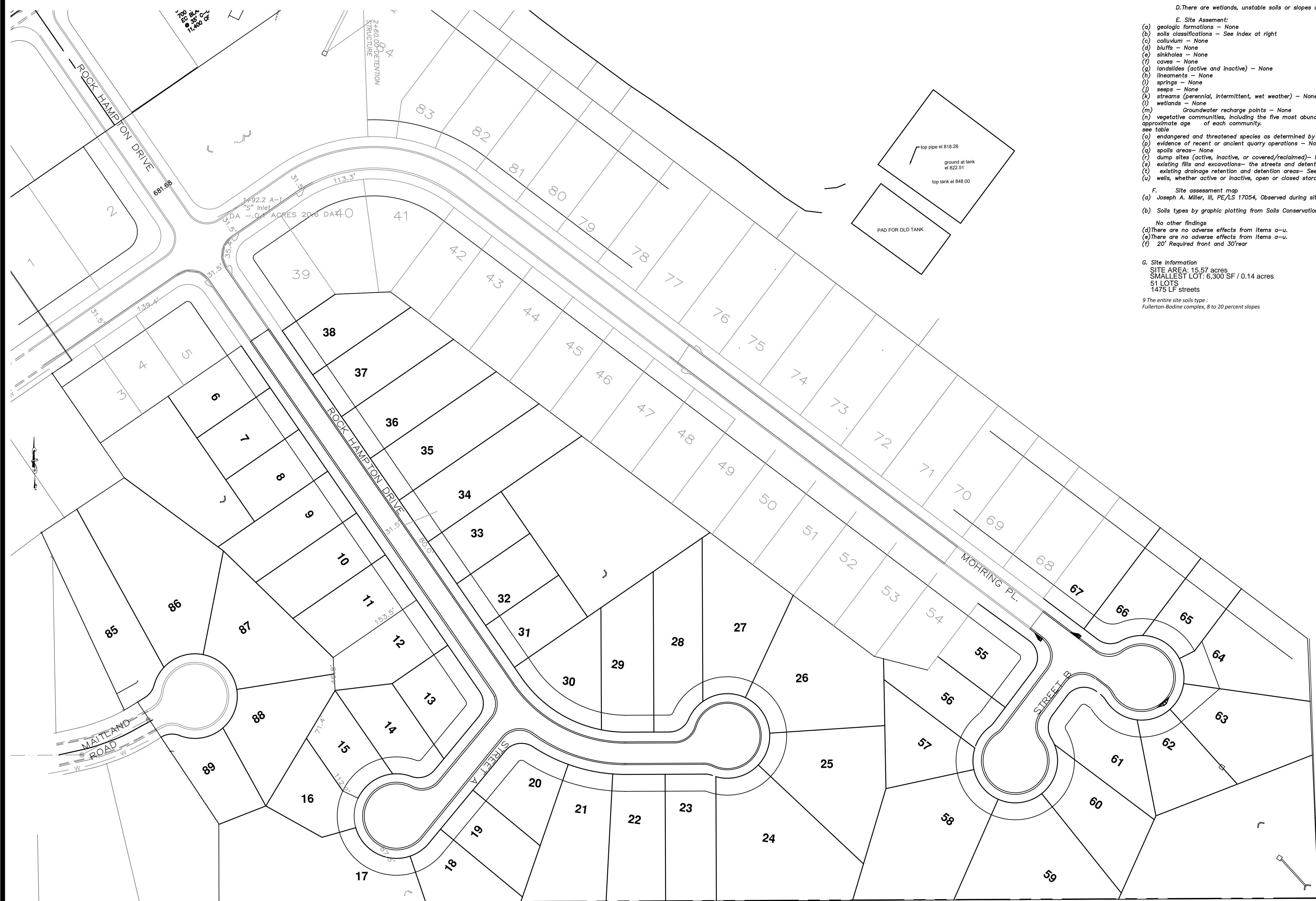
STANDARD DETAILS
ROCK HAMPTON



DATE	REVISIONS

JOB NO:
FILE NAME:
DATE: August 15th, 2019
DRAWN: JAM III
CHECKED: JAM III
SCALE: NA
SHEET: 13

SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



Vegetative communities

- Trees**
1. Pine trees over 6" in diameter = 155, age 15 years
 2. Clusters of mimosa trees over 6" in diameter = 43, age 15 years
 3. Oak trees over 6", larger ones 15-24" in diameter = 10, age 150 years
 4. Sweetgum Trees 6" in diameter = 25, age 50 years
 5. Elm Trees, 6" in diameter = 8, age 15 years

Flowers:
No flowers were observed.
Note:

B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.

C. Site Assessment:

- (a) geologic formations - None
- (b) soils classifications - See Index at right
- (c) colluvium - None
- (d) bluffs - None
- (e) sinkholes - None
- (f) caves - None
- (g) landslides (active and inactive) - None
- (h) lineaments - None
- (i) springs - None
- (j) seeps - None
- (k) streams (perennial, intermittent, wet weather) - None
- (l) wetlands - None
- (m) Groundwater recharge points - None
- (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table
- (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
- (p) evidence of recent or ancient quarry operations - None
- (q) spoils areas - None
- (r) dump sites (active, inactive, or covered/reclaimed) - None
- (s) existing fills and excavations - None

D. There are wetlands, unstable soils or slopes and any other adverse condition affecting the site.

E. Site Assessment:

- (a) geologic formations - None
- (b) soils classifications - See Index at right
- (c) colluvium - None
- (d) bluffs - None
- (e) sinkholes - None
- (f) caves - None
- (g) landslides (active and inactive) - None
- (h) lineaments - None
- (i) springs - None
- (j) seeps - None
- (k) streams (perennial, intermittent, wet weather) - None
- (l) wetlands - None
- (m) Groundwater recharge points - None
- (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table
- (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
- (p) evidence of recent or ancient quarry operations - None
- (q) spoils areas - None
- (r) dump sites (active, inactive, or covered/reclaimed) - None
- (s) existing fills and excavations - the streets and detention pond were graded in 2003.
- (t) existing drainage retention and detention areas - See Sheet # 9
- (u) wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground - None

F. Site assessment map

- (a) Joseph A. Miller, III, PE/LS 17054, Observed during site walk through for items a-u
- (b) Soils types by graphic plotting from Soils Conservation Service Map: Bodine-Fullerton association, steep

No other findings

- (d) There are no adverse effects from items a-u.
- (e) There are no adverse effects from items a-u.
- (f) 20' Required front and 30' rear

G. Site Information

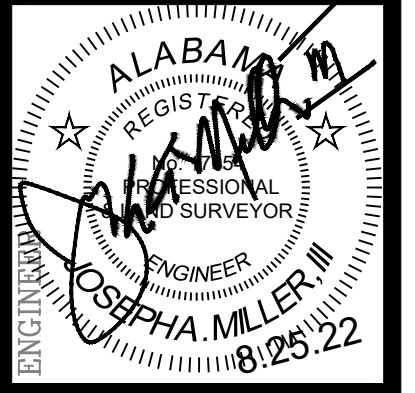
SITE AREA: 15.57 acres
SMALLEST LOT: 6,300 SF / 0.14 acres
51 LOTS
1475 LF streets

⁹ The entire site soils type: Fullerton-Bodine complex, 8 to 20 percent slopes

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HOOVER, AL 35244
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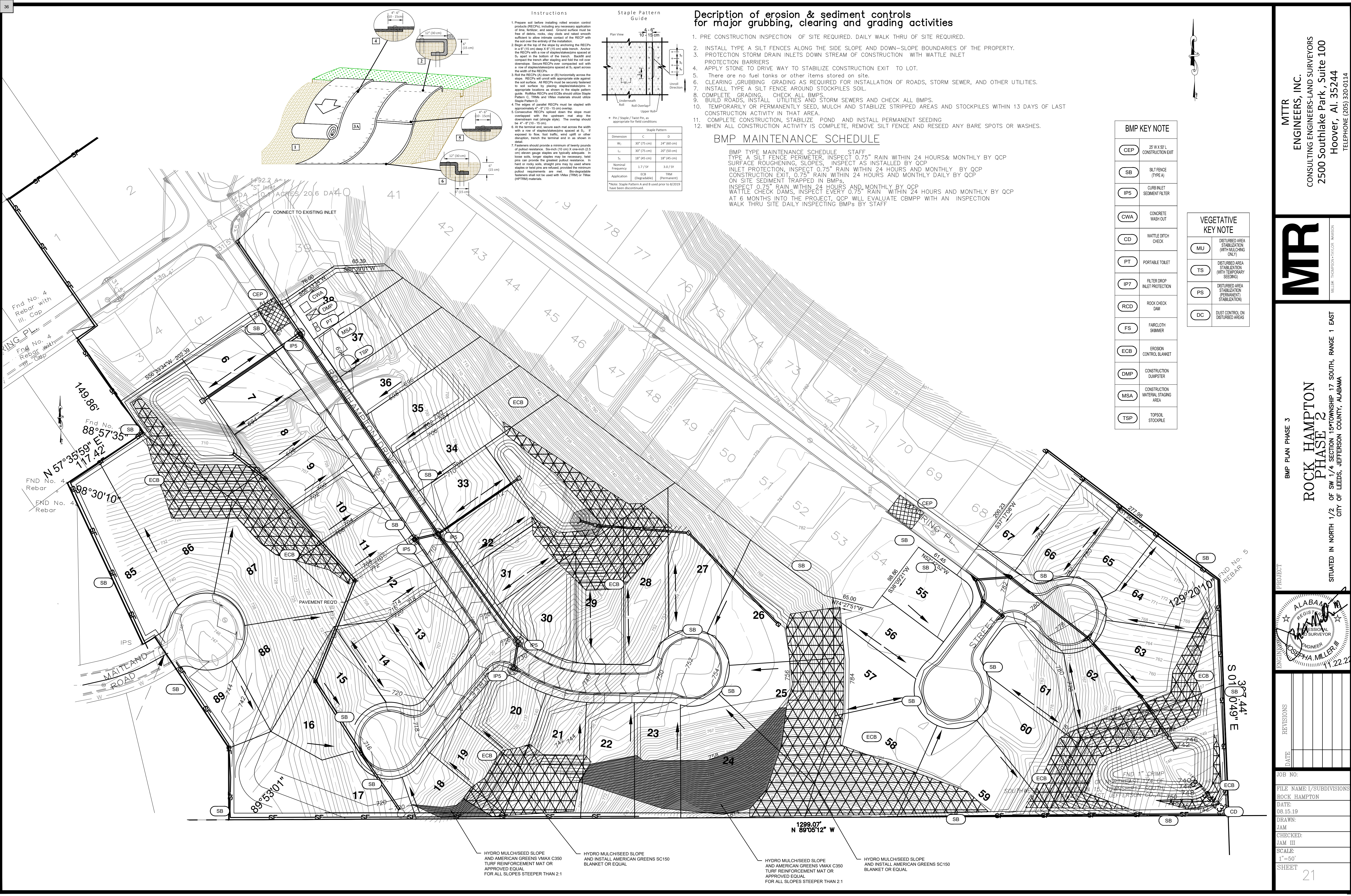


SITE ASSESSMENT MAP
**ROCK HAMPTON
PHASE II**
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



REVISIONS	DATE

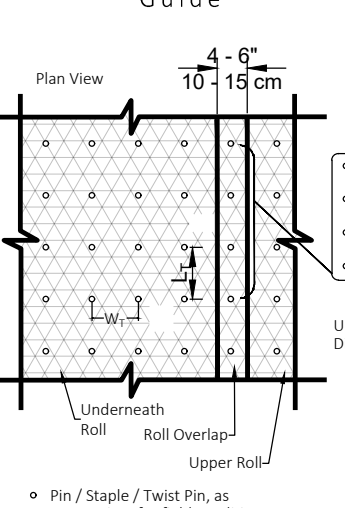
JOB NO.	
FILE NAME: I/SUBDIVISIONS	ROCK HAMPTON
DATE:	08.15.19
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	1"=60'
SHEET	16



Instructions

1. Prepare and before installing rolled erosion control products (RECPs) including any necessary application of lime, fertilizer, and seed. Ground surface must be free of debris, rocks, clay clods and raked smooth adjacent to show intimate contact of the RECP with the soil over the entirety of the installation.
2. Begin at the top of the slope by anchoring the RECPs in a 4" (10 cm) deep x 6" (15 cm) wide trench. Anchor the RECPs with a row of staples/staplespines spaced at 5' apart in the bottom of the trench. Backfill and compact the trench after stapling and fold the roll over down slope. Secure RECPs over compacted soil with a row of staples/staplespines spaced at 5' apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by either staples/staplespines in appropriate locations as shown in the staple pattern guide. Rollback RECPs and ECBs should utilize Staple Pattern C. Title and Vmax materials should utilize Staple Pattern D.
4. The edges of parallel RECPs must be stapled with approximately 4" (10-15 cm) overlap.
5. Consecutive RECPs applied down the slope must overlap with the upstream mat, stop the downstream mat (single style). The overlap should be 4" (10-15 cm).
6. At the terminal end, secure each mat across the width with a row of staples/staplespines spaced at 5' if exposed to flow, foot traffic, wind uplift or other disruption. Finish the terminal end as shown in detail.
7. Fasteners should provide a minimum of twenty pounds of pullout resistance. Six-inch (15 cm) x one-inch (2.5 cm) silver galvanized staples are typically adequate. In loose soils, longer staples may be necessary, twist pins can provide the general labor resistance. In hard or rocky soils, straight pins may be used where staples or twist pins are refused, provided the minimum pullout requirements are met. Bio-degradable fasteners shall not be used with Vmax (TRM) or Vmax (perforated) materials.

Staple Pattern Guide



Dimension	C	D
W ₁	30" (75 cm)	24" (60 cm)
L ₁	30" (75 cm)	20" (50 cm)
S ₁	18" (45 cm)	18" (45 cm)
Nominal Frequency	1.7/5'	1.0/5'
Application	ECB (Erosion Control Blanket)	TRM (Temporary Rolled Mat)

*Note: Staple Pattern A and B used prior to 8/2019 have been discontinued.

Description of erosion & sediment controls for major grubbing, clearing and grading activities

1. PRE CONSTRUCTION INSPECTION OF SITE REQUIRED. DAILY WALK THRU OF SITE REQUIRED.
2. INSTALL TYPE A SILT FENCES ALONG THE SIDE SLOPE AND DOWN-SLOPE BOUNDARIES OF THE PROPERTY.
3. PROTECTION STORM DRAIN INLETS DOWN STREAM OF CONSTRUCTION WITH WATTLE INLET PROTECTION BARRIERS
4. APPLY STONE TO DRIVE WAY TO STABILIZE CONSTRUCTION EXIT TO LOT.
5. There are no fuel tanks or other items stored on site.
6. CLEARING GRUBBING GRADING AS REQUIRED FOR INSTALLATION OF ROADS, STORM SEWER, AND OTHER UTILITIES.
7. INSTALL TYPE A SILT FENCE AROUND STOCKPILES SOIL.
8. COMPLETE GRADING CHECK ALL BMPs.
9. BUILD ROADS, INSTALL UTILITIES AND STORM SEWERS AND CHECK ALL BMPs.
10. TEMPORARILY OR PERMANENTLY SEED, MULCH AND STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 13 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
11. COMPLETE CONSTRUCTION, STABILIZE POND AND INSTALL PERMANENT SEEDING
12. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHES.

BMP MAINTENANCE SCHEDULE

BMP TYPE MAINTENANCE SCHEDULE STAFF

TYPE A SILT FENCE PERIMETER, INSPECT 0.75" RAIN WITHIN 24 HOURS & MONTHLY BY QCP

SURFACE ROUGHENING, SLOPES, INSPECT AS INSTALLED BY QCP

INLET PROTECTION, INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

CONSTRUCTION EXIT, 0.75" RAIN WITHIN 24 HOURS AND MONTHLY DAILY BY QCP

ON SITE SEDIMENT TRAPPED IN BMPs,

INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

WATTLE CHECK DAMS, INSPECT EVERY 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

AT 6 MONTHS INTO THE PROJECT, QCP WILL EVALUATE CBMP WITH AN INSPECTION WALK THRU SITE DAILY INSPECTING BMPs BY STAFF

BMP KEY NOTE

CEP	25' W X 50' L CONSTRUCTION EXIT
SB	SILT FENCE (TYPE A)
IP5	CURB INLET SEDIMENT FILTER
CWA	CONCRETE WASH OUT
CD	WATTLE DITCH CHECK
PT	PORTABLE TOILET
IP7	FILTER DROP INLET PROTECTION
RCD	ROCK CHECK DAM
FS	FAR CLOTH SKIMMER
ECB	EROSION CONTROL BLANKET
DMP	CONSTRUCTION DUMPSTER
MSA	CONSTRUCTION MATERIAL STAGING AREA
TSP	TOPSOIL STOCKPILE

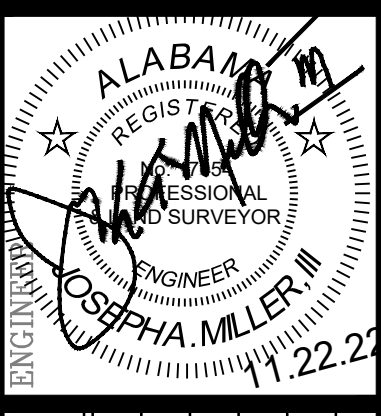
VEGETATIVE KEY NOTE

MU	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
TS	DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
PS	DISTURBED AREA STABILIZATION (PERMANENT STABILIZATION)
DC	DUST CONTROL ON DISTURBED AREAS

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BMP PLAN PHASE 3
ROCK HAMPTON PHASE 2
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



DATE	REVISIONS

JOB NO: _____

FILE NAME / SUBDIVISIONS: ROCK HAMPTON

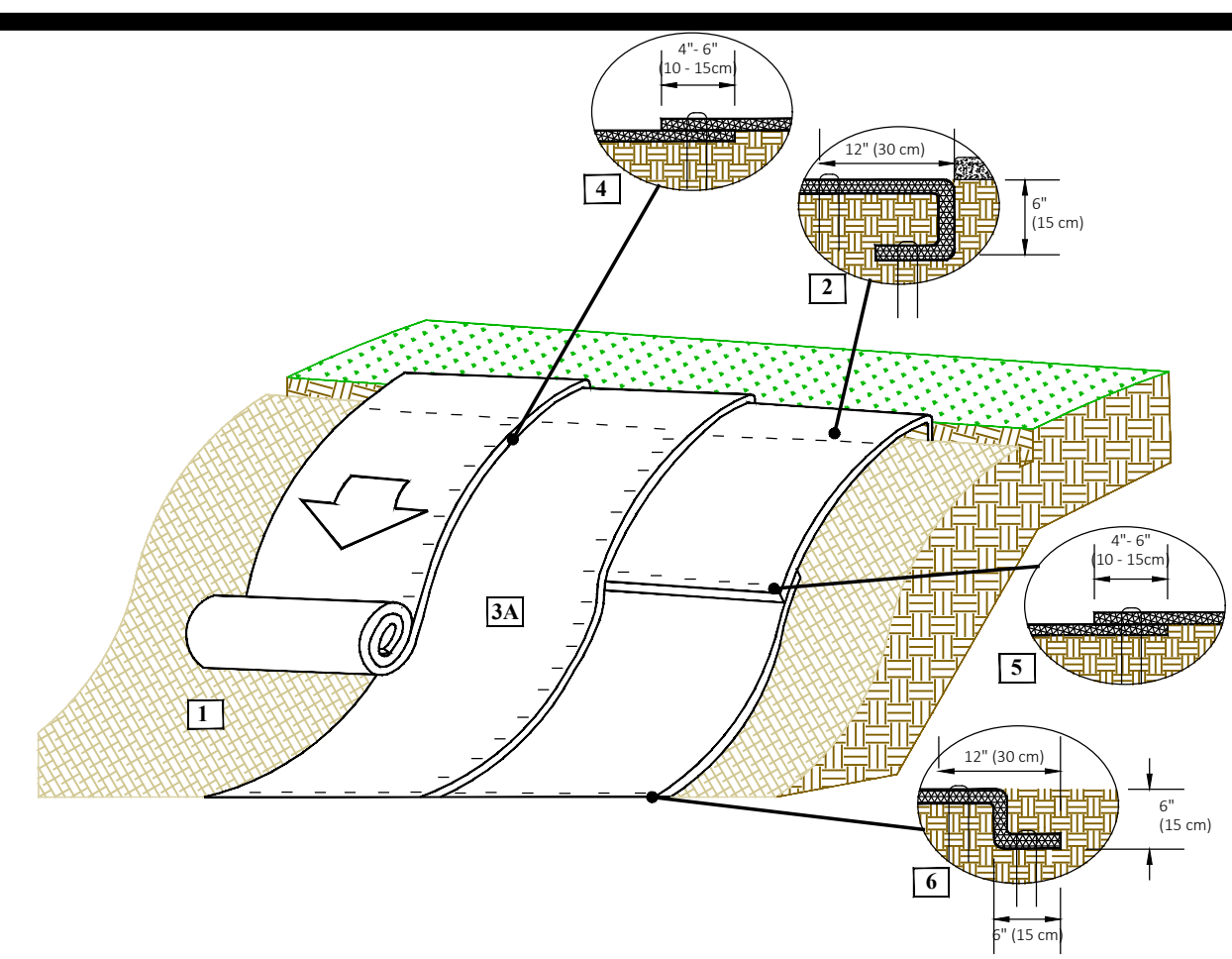
DATE: 08.15.19

DRAWN: JAM

CHECKED: JAM III

SCALE: 1"=50'

SHEET 21



Instructions

1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed. Ground surface must be free of debris, rocks, clay clods and raked smooth sufficient to allow intimate contact of the RECP with the soil over the entire of the installation.
2. Begin at the top of the slope by anchoring the RECPs in a 4' (15 cm) deep x 6' (15 cm) wide trench. Anchor the RECPs with a row of staples/staplepins spaced at 5' apart in the bottom of the trench. Backfill and compact the trench after stapling and top the soil over downslope. Secure RECPs over compacted soil with a row of staples/staplepins spaced at 5' apart across the width of the RECPs.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/staplepins in appropriate locations as shown in the staple pattern guide. RollMax RECPs and ECIBs should utilize Staple Pattern C, TRMs and 10-Mat materials should utilize Staple Pattern D.
4. The edges of parallel RECPs must be stapled with approximately 4'-6" (10-15 cm) overlap.
5. Consequent RECPs applied down the slope must overlap with the upstream mat along the downstream mat (slope 50%). The overlap should be 4'-6" (10-15 cm).
6. At the bottom end secure each mat across the width with a row of staples/staplepins spaced at 5', if required to slow foot traffic, avoid cliff or other disruption, touch the terminal end as shown in detail.
7. Fasteners should provide a minimum of twenty pounds of pullout resistance. Six-inch (15 cm) x one-inch (2.5 cm) elongated galvanized staples are typically adequate. In loose soils, longer staples may be necessary. Metal pins can provide the greatest pullout resistance. In hard or rocky soils, straight pins may be used where staples or metal pins are refused, provided the minimum pullout requirements are met. Bio-degradable fasteners shall not be used with Velux (TRM) or Traxx (HPTRM) materials.

Staple Pattern Guide

Plan View: 4'-6" x 12'-15cm

Dimensions: 4'-6" (10-15 cm), 12'-15cm, 6" (15 cm)

Dimension	C	D
W ₁	30" (75 cm)	24" (60 cm)
L ₁	30" (75 cm)	20" (50 cm)
S ₁	18" (45 cm)	18" (45 cm)
Nominal Frequency	1.7/5'	3.0/5'
Application	ECB (Degradable)	TRM (Permanent)

* Note: Staple Pattern A and B used prior to 8/2020 have been discontinued.

Description of erosion & sediment controls for major grubbing, clearing and grading activities

1. PRE CONSTRUCTION INSPECTION OF SITE REQUIRED. DAILY WALK THRU OF SITE REQUIRED.
2. INSTALL TYPE A SILT FENCES ALONG THE SIDE SLOPE AND DOWN-SLOPE BOUNDARIES OF THE PROPERTY.
3. PROTECTION STORM DRAIN INLETS DOWN STREAM OF CONSTRUCTION WITH WATTLE INLET PROTECTION BARRIERS
4. APPLY STONE TO DRIVE WAY TO STABILIZE CONSTRUCTION EXIT TO LOT.
5. There are no fuel tanks or other items stored on site.
6. CLEARING ,GRUBBING GRADING AS REQUIRED FOR INSTALLATION OF ROADS, STORM SEWER, AND OTHER UTILITIES.
7. INSTALL TYPE A SILT FENCE AROUND STOCKPILES SOIL.
8. COMPLETE GRADING, CHECK ALL BMPs.
9. BUILD ROADS, INSTALL UTILITIES AND STORM SEWERS AND CHECK ALL BMPs.
10. TEMPORARILY OR PERMANENTLY SEED, MULCH AND STABILIZE STRIPPED AREAS AND STOCKPILES WITHIN 13 DAYS OF LAST CONSTRUCTION ACTIVITY IN THAT AREA.
11. COMPLETE CONSTRUCTION, STABILIZE POND AND INSTALL PERMANENT SEEDING
12. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE, REMOVE SILT FENCE AND RESEED ANY BARE SPOTS OR WASHES.

BMP MAINTENANCE SCHEDULE

BMP TYPE MAINTENANCE SCHEDULE STAFF

TYPE A SILT FENCE PERIMETER, INSPECT 0.75" RAIN WITHIN 24 HOURS & MONTHLY BY QCP

SURFACE ROUGHENING, SLOPES, INSPECT AS INSTALLED BY QCP

INLET PROTECTION, INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

CONSTRUCTION EXIT, 0.75" RAIN WITHIN 24 HOURS AND MONTHLY DAILY BY QCP

ON SITE SEDIMENT TRAPPED IN BMPs, INSPECT 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

WATTLE CHECK DAMS, INSPECT EVERY 0.75" RAIN WITHIN 24 HOURS AND MONTHLY BY QCP

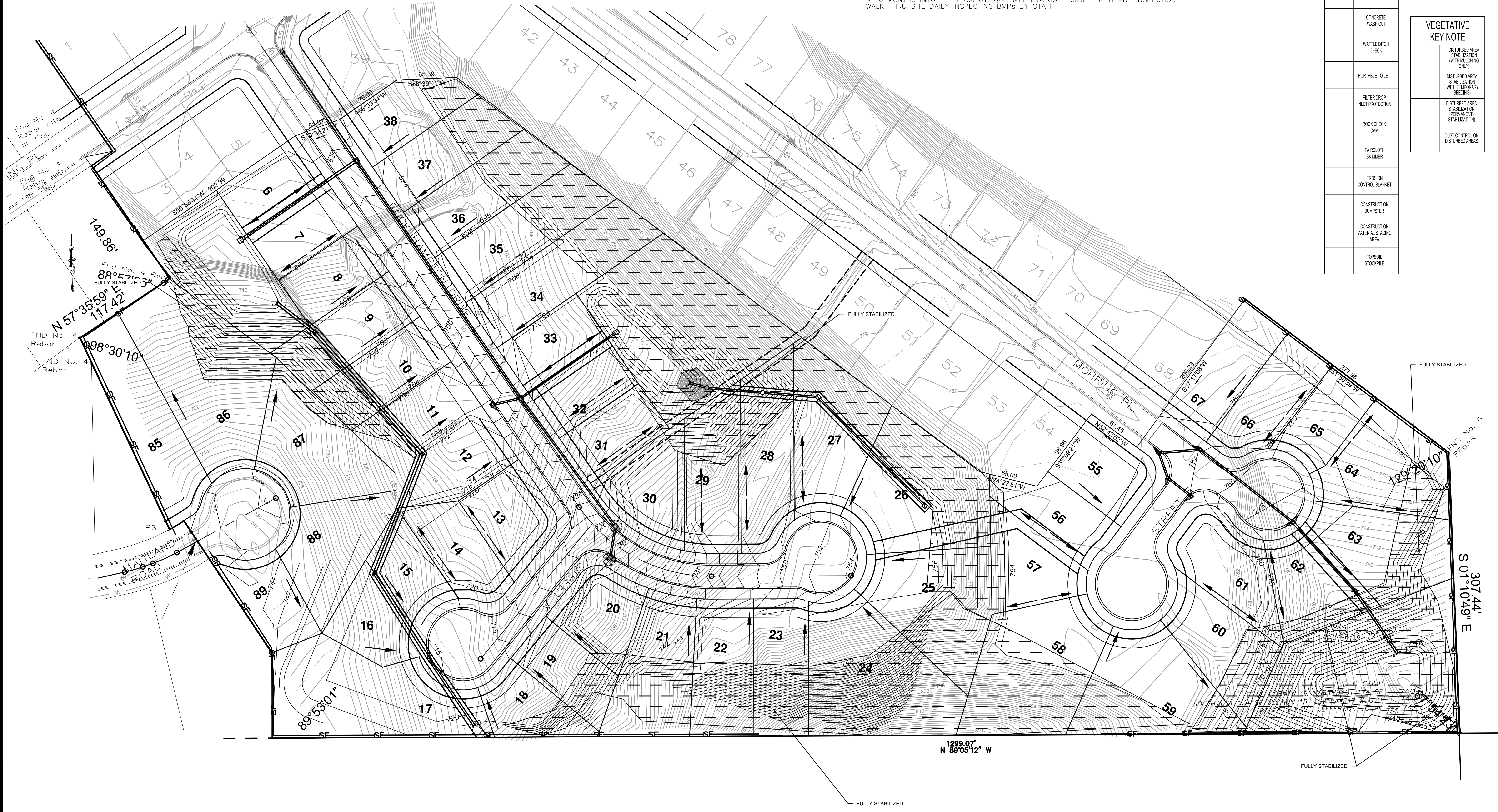
AT 6 MONTHS INTO THE PROJECT, QCP WILL EVALUATE CBMP WITH AN INSPECTION WALK THRU SITE DAILY INSPECTING BMPs BY STAFF

BMP KEY NOTE

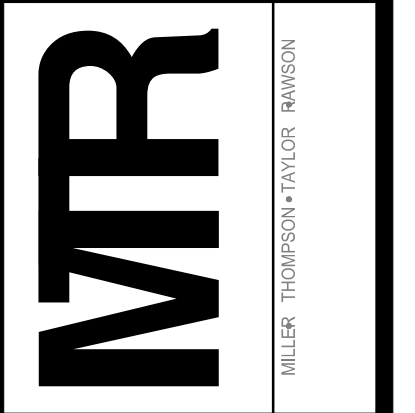
25' W X 50' L CONSTRUCTION EXIT	CONCRETE WASH OUT
SILT FENCE (TYPE A)	WATTLE DITCH CHECK
CURB INLET SEDIMENT FILTER	PORTABLE TOILET
CONCRETE WASH OUT	FILTER DROP INLET PROTECTION
WATTLE DITCH CHECK	ROCK CHECK DAM
PORTABLE TOILET	FARMCLOTH SKIMMER
CONCRETE WASH OUT	EROSION CONTROL BLANKET
WATTLE DITCH CHECK	CONSTRUCTION DUMPSTER
PORTABLE TOILET	CONSTRUCTION MATERIAL STAGING AREA
CONCRETE WASH OUT	TOPSOIL STOCKPILE

VEGETATIVE KEY NOTE

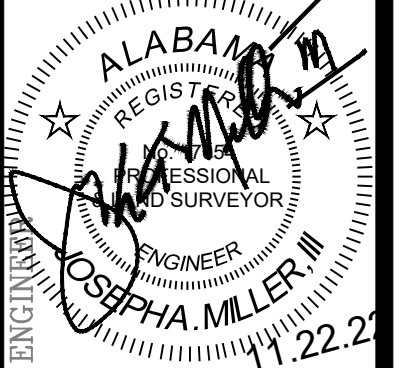
DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)
DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
DISTURBED AREA STABILIZATION (PERMANENT STABILIZATION)
DUST CONTROL ON DISTURBED AREAS



MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114



FINAL BMP PLAN
ROCK HAMPTON PHASE 2
SITUATED IN NORTH 1/2 OF SW 1/4 SECTION 15 TOWNSHIP 17 SOUTH, RANGE 1 EAST CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA



DATE:	REVISIONS:
JOB NO:	FILE NAME / SUBDIVISIONS:
DATE:	ROCK HAMPTON
08.15.19	DATE:
DRAWN:	JAM
CHECKED:	JAM III
SCALE:	1" = 50'
SHEET:	22

File Attachments for Item:

4. SA22-000023 - A request by Christal Grammer, Applicant, Sheridan South LLC,/ John R. Frawley, Jr., Owner, to resurvey Lots 1-4. 6-10, 13 & 14 of Block 15A of the Survey of Leeds, into two (2) lots located at 8412 Thornton Ave, 35094, TPID(s) 2500211016007000 & 2500211016012000, Zoned I-1, Light Industrial, Jefferson County.



RESURVEY OF LOTS 1-4, 6-10, 13 AND 14
 OF BLOCK 15-A OF THE SURVEY OF LEEDS
 BEING A RESURVEY OF LOTS 1-4, 6-10 AND 13 AND 14
 OF BLOCK 15-A OF THE SURVEY OF LEEDS
 AS RECORDED IN MAP BOOK 10 PAGE 21, JEFF CO AL
 SITUATED IN THE NE 1/4 OF SECTION 21 TOWNSHIP 17 SOUTH,
 RANGE 1 EAST, CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

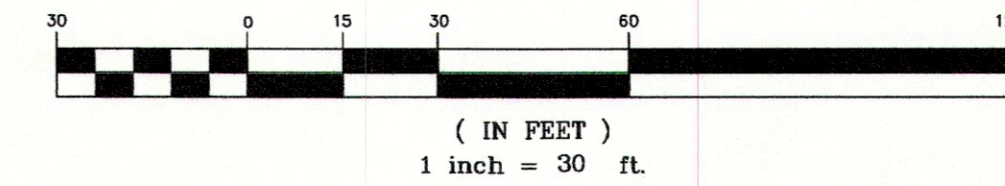
VICINITY MAP
 PREPARED BY
 JOSEPH A. MILLER, III
 PE/LS 17054
 MTR ENGINEERS, INC.
 3 Riverchase Ridge
 Hoover, Al. 35244
 TELEPHONE (205) 320-01

RESURVEY OF LOTS 1-4, 6-10, 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS

BEING A RESURVEY OF LOTS 1-4, 6-10 AND 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS AS RECORDED IN MAP BOOK 10 PAGE 21, JEFF CO AL SITUATED IN THE NE 1/4 OF SECTION 21 TOWNSHIP 17 SOUTH, RANGE 1 EAST, CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

THE PURPOSE OF THIS RESURVEY IS TO COMBINE LOTS 1-4 AND LOTS 6-10 INTO ONE LOT AND TO COMBINE LOTS 13 AND 14 INTO ONE LOT.

GRAPHIC SCALE



STATE OF ALABAMA
JEFFERSON COUNTY

THE UNDERSIGNED, JOSEPH A. MILLER III, SURVEYOR, AND JOHN R. FRAWLEY, JR. FOR SHERIDAN SOUTH, LLC, OWNER HEREBY CERTIFY THAT THIS PLAT OR MAP WAS MADE PURSANT TO A SURVEY MADE BY SAID SURVEYOR AND THIS PLAT OR MAP WAS MADE AT THE INSTANCE OF SAID OWNER, THAT THIS PLAT OR MAP IS A TRUE AND CORRECT MAP OF LANDS SHOWN THEREIN AND KNOWN OR TO BE KNOWN AS RESURVEY OF LOTS 1-4, 6-10, 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS, SHOWING THE SUBDIVISIONS INTO WHICH IT PROPOSED TO DIVIDE SAID LANDS, GIVING THE LENGTH AND BEARINGS OF EACH LOT AND ITS NUMBER, SHOWING STREETS, ALLEYS, AND PUBLIC GROUNDS, GIVING THE BEARINGS, LENGTH, AND WIDTH AND NAME OF EACH STREET, AND SHOWING THE RELATION OF THE LANDS TO THE SURVEY OF LEEDS AS RECORDED IN MAP BOOK 10, PAGE 21 IN THE JUDGE OF PROBATE OFFICE OF JEFFERSON COUNTY, ALABAMA, SITUATED IN THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 17 SOUTH, RANGE 1 EAST, JEFFERSON COUNTY, ALABAMA, AND THAT IRON PINS HAVE BEEN LOCATED OR INSTALLED AT ALL LOT CORNERS AND CURVE POINTS AS SHOWN AND DESIGNATED BY SMALL OPEN CIRCLES ON SAID PLAT OR MAP. NO STREET DEDICATIONS BY THIS MAP, THEREFOR THE USUAL STREET DEDICATION IS OMITTED.

Joseph A. Miller, III, PE/PLS
AL Reg. No. 17054
MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE
HOOVER, ALABAMA 35244

JOHN R. FRAWLEY, JR. FOR SHERIDAN SOUTH, LLC

State of Alabama)
Jefferson County)

I, _____, as Notary Public in and for said County and State, do hereby certify that Joseph A. Miller, III, whose name is signed to the foregoing certificate, and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same voluntarily as such authorized representative and with authority thereof.

Given under my hand and seal this _____ day of _____, 2022.

Notary Public
My commission expires: _____

State of Alabama)
Jefferson County)

I, _____, as Notary Public in and for said County and State, do hereby certify that JOHN R. FRAWLEY, JR., whose name is signed to the foregoing certificate as an authorized representative for SHERIDAN SOUTH, LLC and who is known to me, acknowledged before me on this date, that after having been duly informed of the contents of said certificate, he executed same voluntarily as such authorized representative and with authority thereof.

Given under my hand and seal this _____ day of _____, 2022.

Notary Public
My commission expires: _____

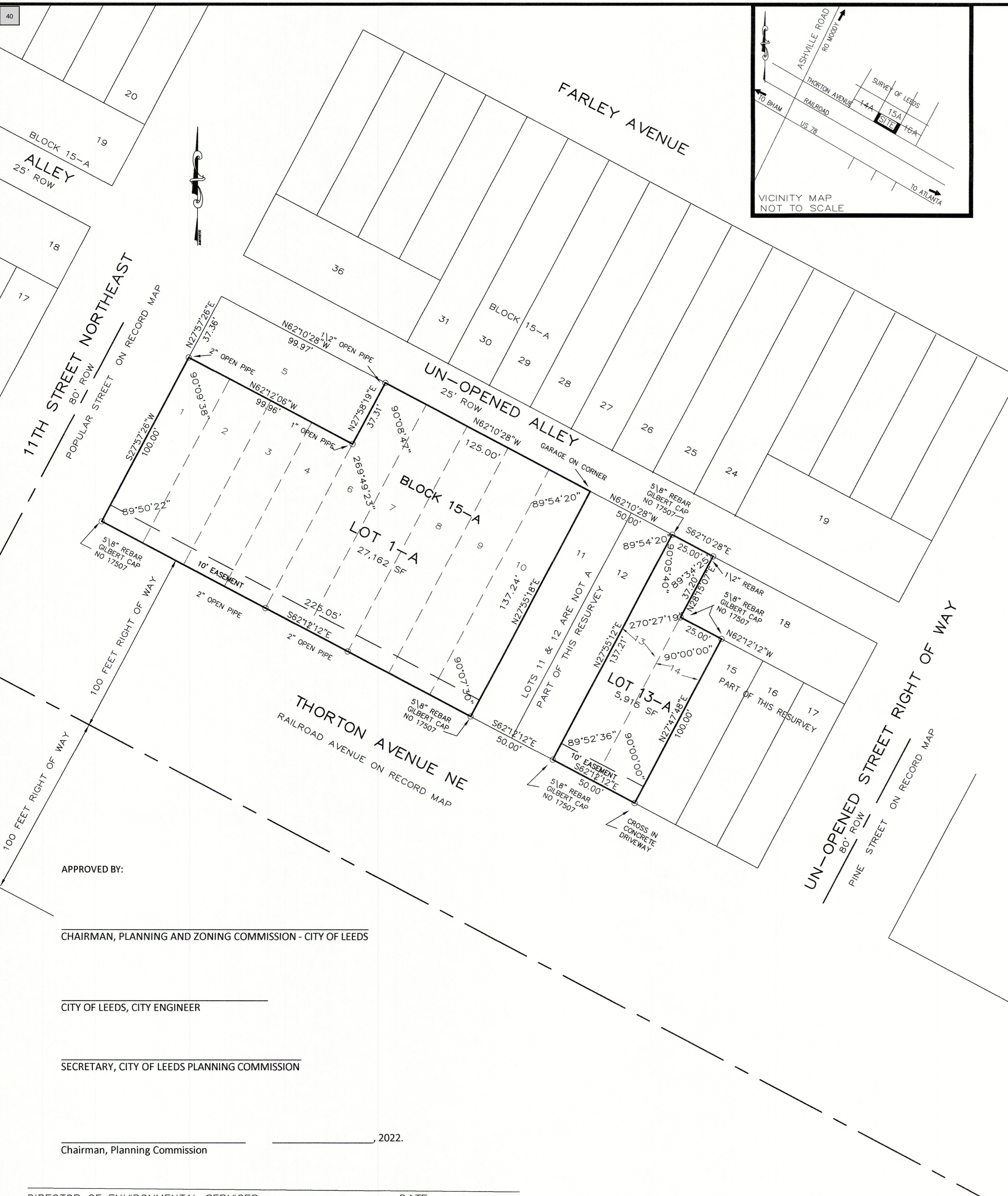
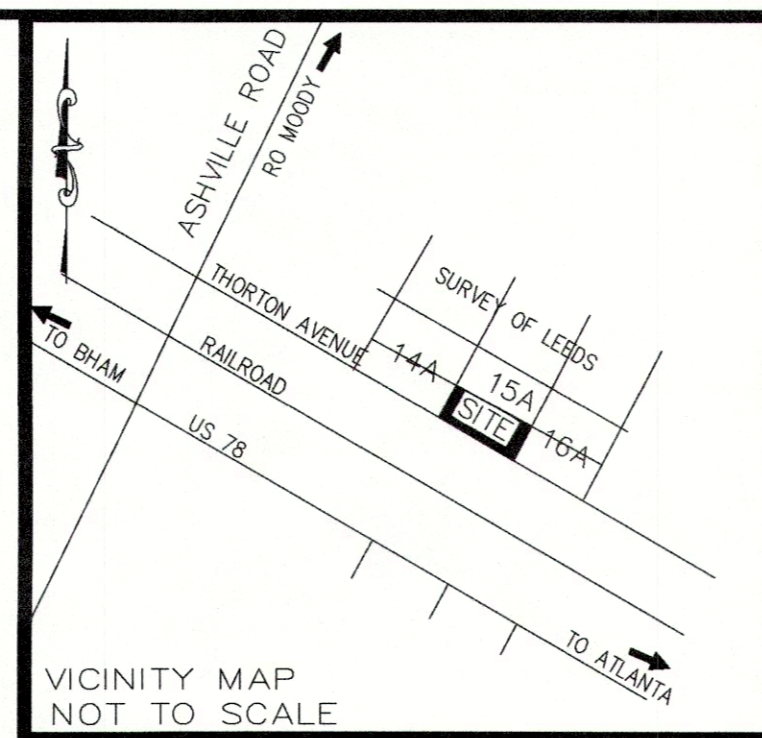
OWNER'S CERTIFICATE AND DEDICATION. I, JOHN R. FRAWLEY, JR., FOR SHERIDAN SOUTH, LLC, do hereby certify that we are the owners of and only person having any right, title or interest in the land shown on the plat of RESURVEY OF LOTS 1-4, 6-10, 13 AND 14 OF BLOCK 15-A OF THE SURVEY OF LEEDS, and that the plat represents a correct survey of the above described property made with our consent, and that we hereby dedicate to the public use all the streets as shown on said plat. The easements as shown on the plat are created for the installation and maintenance of public utilities. We hereby guarantee a clear title to all lands so dedicated from ourselves and our heirs or assigns forever, and have caused the same to be released from all encumbrances so that the title is clear, except as shown in the abstractor's certificate.

RESTRICTIONS: NONE

Witness: _____ hand this _____ day of _____, 2022.

NOTES

1. THE CITY OF LEEDS IS NOT RESPONSIBLE FOR DITCH OR PIPE MAINTENANCE OUTSIDE OF PUBLIC STREET RIGHT OF WAYS.
2. ALL EASEMENTS OUTSIDE OF STREET ROW TO BE MAINTAINED BY HOME-OWNERS ASSOCIATION AND/OR THE INDIVIDUAL LOT OWNER.
3. SITE IS NOT IN A FLOOD HAZARD AREA PER FIRM MAP No. 01073C0441 H DATE: SEPTEMBER 24, 2021.
4. ALL ROAD ROWS ARE EXISTING CITY OF LEEDS PUBLIC STREETS, NO NEW ROW DEDICATED BY THIS MAP.
5. BASIS OF BEARINGS: ASSUMED
6. NO FENCES ALLOWED IN DRAINAGE EASEMENTS.
7. UNLESS SHOWN OTHERWISE, THESE LOTS HAVE A 10' UTILITY EASEMENT ACROSS THE FRONT LINE OF THE LOT.
8. ALL EASEMENTS SHOWN ON THIS MAP ARE FOR PUBLIC UTILITIES, SANITARY SEWERS, STORM SEWERS AND OPEN STORM DITCHES AND MAY BE USED FOR SUCH PURPOSES TO SERVE BOTH WITHIN AND WITHOUT THIS SUBDIVISION.
9. I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



ENGINEER/SURVEYOR:
JOSEPH A. MILLER
PE / LS 17054
MTR ENGINEERS, INC.
3 RIVERCHASE RIDGE
HOOVER, AL 35242
TELEPHONE (205) 320-0114

OWNER:
SHERIDAN SOUTH, LLC
1309 COFFEE AVENUE SOUTH
SUITE 1200
SHERIDAN, WYOMING 82801

APPROVED BY: _____
CHAIRMAN, PLANNING AND ZONING COMMISSION - CITY OF LEEDS

CITY OF LEEDS, CITY ENGINEER

SECRETARY, CITY OF LEEDS PLANNING COMMISSION

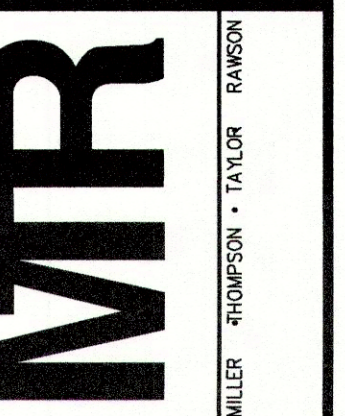
_____, 2022.
Chairman, Planning Commission

DIRECTOR OF ENVIRONMENTAL SERVICES

DATE

ENVIRONMENTAL SERVICES DEPARTMENT APPROVAL INDICATES THAT THIS DOCUMENT HAS BEEN REVIEWED FOR PROVISION OF FUTURE OR EXISTING SANITARY SEWERS, HOWEVER THIS DOES NOT MEAN SANITARY SEWERS HAVE BEEN BUILT OR WILL BE BUILT IN THE FUTURE. ANY CHANGE IN RIGHT OF WAY OR EASEMENT BOUNDARIES AFTER THIS DATE MAY VOID THIS APPROVAL.

MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
3 RIVERCHASE RIDGE
Hoover, AL 35244
TELEPHONE (205) 320-0114



PROJECT
RECORD PLAT OF
RESURVEY OF LOTS 1-4, 6-10, 13 AND 14
OF BLOCK 15-A OF THE SURVEY OF LEEDS
SITUATED IN NE 1/4 OF SECTION 20 TOWNSHIP 17 SOUTH, RANGE 1 EAST
CITY OF LEEDS, JEFFERSON COUNTY, ALABAMA

DATE	REVISIONS
09-28-22	DRAW 2 LOT MAP
10-05-22	1 LOT MAP
11-18-22	BACK TO 2 LOTS

JOB NO: _____
FILE NAME: I/AAAPLOTS\LEEDS-LEEDS
DATE: NOVEMBER 18, 2022
DRAWN: JBC
CHECKED: JAM III
SCALE: 1"=30'
SHEET 01